

# D-1150 ROOF REPLACEMENT LIFE HEALTH SCIENCE BUILDING (LHS)

DIABLO VALLEY COLLEGE  
321 GOLF CLUB ROAD  
PLEASANT HILL, CALIFORNIA

PREPARED FOR  
CONTRA COSTA COMMUNITY COLLEGE DISTRICT

## SCOPE OF PROJECT

- (1) REMOVE EXISTING BUILT-UP ROOFS AS SHOWN ON DRAWINGS.
- (2) INSTALL NEW TAPERED INSULATION, AS SHOWN ON THE DRAWINGS.
- (3) INSTALL NEW SINGLE-PLY ROOF SYSTEM AS SHOWN ON THE DRAWINGS.

DRAWING NO	TITLE
A1.0	TITLE SHEET, GENERAL NOTES, ABBREVIATIONS AND LEGEND
AD2.1	LHS BUILDING ROOF DEMOLITION PLAN
A2.1	BUILDING MAIN ROOF PLAN
A2.2	LHS BUILDING WALK PAD LAYOUT AND ELEVATOR PLAN
A10.50	ROOF REPLACEMENT DETAILS
A10.51	ROOF REPLACEMENT DETAILS
A10.52	ROOF REPLACEMENT DETAILS
A10.53	ROOF REPLACEMENT DETAILS

## GENERAL NOTES

- (1) THE INFORMATION SHOWN ON THE DRAWINGS WAS COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL VISIT THE SITE(S) AND VERIFY DIMENSIONS AND FIELD CONDITIONS PRIOR TO BID SUBMISSION.
- (2) THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER PRIOR TO BID SUBMISSION.
- (3) REFER TO PROJECT SPECIFICATIONS FOR DETAILED REQUIREMENTS FOR MATERIAL AND WORKMANSHIP.
- (4) ALL WORK SHALL CONFORM WITH LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
- (5) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK PRIOR TO THE START OF CONSTRUCTION.
- (6) THE CONTRACTOR SHALL MAKE SUBMITTALS AS REQUIRED BY THE PROJECT SPECIFICATIONS.
- (7) FOR CLARITY, DETAILS SHOWN IN THESE DRAWINGS ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE NOTED OR SHOWN. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME OR SIMILAR NATURE FOR SIMILAR CONDITIONS.
- (8) ALL COMPONENTS SHOWN ON THE DRAWING SHALL BE NEW UNLESS INDICATED AS EXISTING (E).
- (9) THE ARCHITECT/ENGINEER WILL HAVE A REPRESENTATIVE ON-SITE, PART-TIME, DURING CONSTRUCTION TO OBSERVE FOR COMPLIANCE WITH THE DESIGN INTENT AND TO ASSIST THE CONTRACTOR IN RESOLVING VARIATION IN THE EXISTING CONSTRUCTION. THE CONSTRUCTION DOCUMENTS ADDRESS KNOWN CONDITIONS, BUT IT IS ANTICIPATED THAT HIDDEN CONDITIONS WILL BE ENCOUNTERED DURING CONSTRUCTION. THE ARCHITECT/ENGINEER WILL OBSERVE SUCH CONDITIONS AND ISSUE CLARIFICATIONS OR MODIFICATIONS OF EXISTING DESIGN TO REFLECT THOSE CONDITIONS AND DOCUMENT ALL CHANGES.
- (10) NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED.
- (11) UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, PLUMB, AND SQUARE.
- (12) DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL SCALED DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
- (13) THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING CONSTRUCTION.

## ROOF GENERAL NOTES

- (1) REFER TO THE PROJECT MANUAL FOR WATERTIGHTNESS REQUIREMENTS AFTER DEMOLITION.
- (2) REFER TO THE ROOF TYPE DETAILS FOR ROOF SYSTEM COMPONENTS.
- (3) REPORT UNSUITABLE SUBSTRATE CONDITIONS TO THE OWNER. DO NOT INSTALL ROOFING OVER UNSUITABLE SUBSTRATES.
- (4) INSTALL CRICKETS ON THE UPSLOPE SIDE OF ALL PENETRATIONS GREATER THAN 2 FEET IN WIDTH.
- (5) RELOCATE (E) CONDUIT, I.E. ELECTRICAL, GAS, WATER, AND COMMUNICATIONS AS REQUIRED TO PERFORM THE WORK.

## ABBREVIATIONS

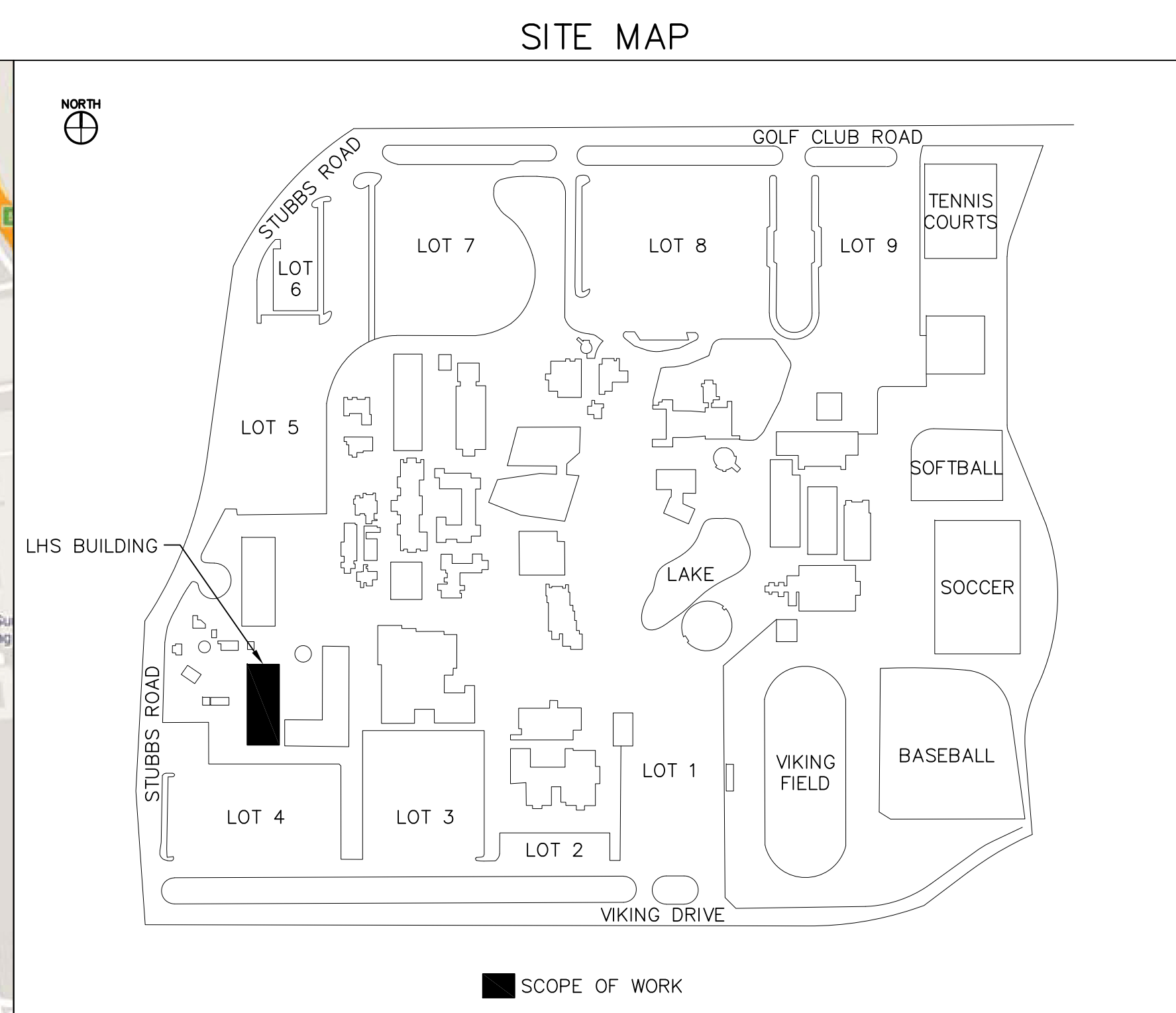
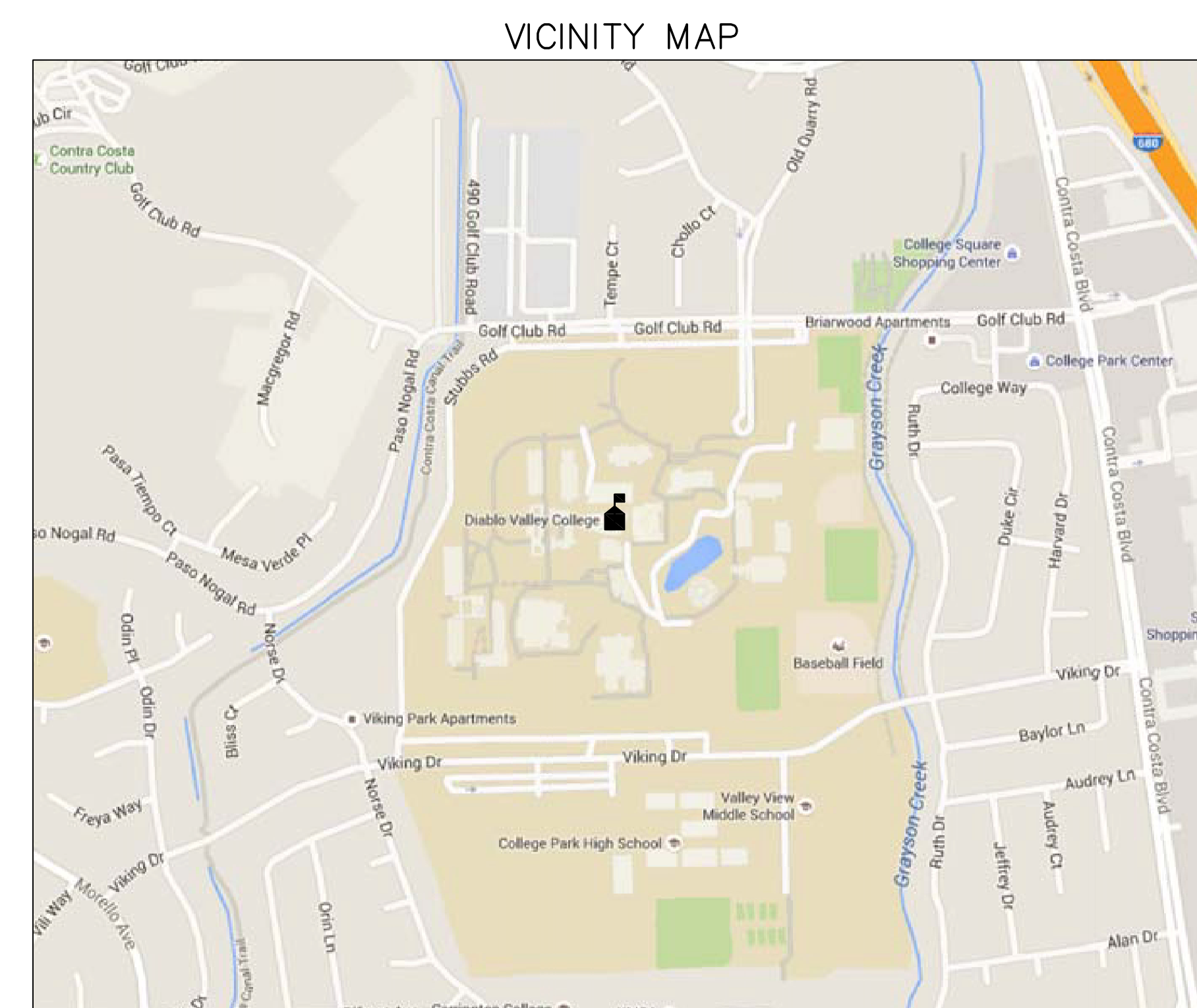
&	AND	I.D.	INSIDE DIAMETER
∠	ANGLE	INT.	INTERIOR
⊕	AT	JT.	JOINT
⊙	CENTERLINE	LT.	LIGHT JOINT
⊘	DIAMETER/ROUND	MAX.	MAXIMUM
#	POUND OR NUMBER	MEMB.	MEMBRANE
AC	ACOUSTICAL	MFR.	MANUFACTURER
A.D.	AREA DRAIN	MIN.	MINIMUM
ADJ.	ADJUSTABLE	MIR.	MIRROR
AL	ALUMINUM	MISC.	MISCELLANEOUS
APPROX.	APPROXIMATE	MTL.	METAL
ARCH.	ARCHITECTURAL	MULL.	MULLION
BD.	BOARD	(N)	NORTH
BLDG.	BUILDING	N	NORTH
BLK.	BLOCK	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	NO. OR #	NUMBER
BUR.	BUILT-UP ROOF	NOM.	NOMINAL
C.I.	CAST IRON	N.T.S.	NOT TO SCALE
C.L.C.	CEILING	O.C.	ON CENTER
CLG.	CALLING	O.D.	OUTSIDE DIAMETER
CLK.	COLUMN	OP.	OPENING
COL.	CONCRETE	OPF.	OPPOSITE
CONC.	CONCRETE	PL.	PLATE
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONSTR.	CONSTRUCTION	PROST.	PRE-CAST
CONT.	CONTINUOUS	RAD.	RADIUS
CTSK.	COUNTER SUNK	Q.T.	QUARRY TILE
CTR.	CENTER	RD.	ROOF DRAIN
CYD.	COURTYARD	REF.	REFERENCE
DBL.	DOUBLE	REF.	REQUIRED
DET.	DETAIL	REG.	REGISTERED
DIA.	DIAMETER	R.W.	REDWOOD
DIM.	DIMENSION	R.W.L.	RAIN WATER LEADER
D.O.	DOOR OPENING	S.	SOUTH OR SKYLIGHT
DR.	DOOR	SCHED.	SCHEDULE
DS	DOWNSPOUT	SECT.	SECTION
(E) OR EXIST	EXISTING	SHT.	SHEET
E.	EAST	SH.	SHIM
E.A.	EXPANSION JOINT	SM.	SMELT METAL
E.L.	ELEVATION	SPC.	SPECIFICATION
ELEC.	ELECTRICAL	SQ.	SQUARE
EQ.	EQUAL	SS	STAINLESS STEEL
EXT.	EXTERIOR	STD.	STEEL
F.A.	FIRE ALARM	STD.	STANDARD
GSM.	GALVANIZED SHEET	SUSP.	SUSPENDED
FND.	FOUNDATION	SYM.	SYMMETRICAL
FL.	FLOOR	T & G	TONGUE AND GROOVE
FLASH.	FLASHING	THK.	THICK
FT.	FOOT OR FEET	TRIP	TRIPLE
FTG.	FOOTING	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V.I.F.	VERIFY IN FIELD
GSM.	GALVANIZED SHEET	W.	WEST
GWB.	GYP-SUM BOARD	W/	WITH
H.B.	HOSE BIB	W.C.	WATER CLOSET
HGT.	HEIGHT	WD	WOOD
HVAC	HEATING VENTILATION AIR CONDITIONING	W/O	WITHOUT
		WT.	WEIGHT

## SYMBOLS

	DETAIL
	GRID LINE
	REVISION

## LEGEND

	ROOF EDGE		SUMP WITH DRAINS
	GUTTER WITH DOWNSPOUT		DRAIN
	PARAPET WALL		OVERFLOW
	EXISTING RIDGE/VALLEY LINE		DOWNSPOUT
	CRICKET LINE		SCUPPER OR OVERFLOW SCUPPER
	CONDUIT(S) PIPES		ANTENNA
	ON WOOD SLEEPERS		FLUE
	EXPANSION JOINT		PLUMBING VENT
	FAN UNIT		ELECTRICAL PENETRATION
	HATCH		GAS PENETRATION
	SKYLIGHT		ROOF MOUNTED SPEAKER/ALARM
	J-VENT		ROOF MOUNTED LIGHT
	SMOKE HATCH		ABANDONED PENETRATION
	VENT UNIT		HOT STACK
	DUCT PENETRATION		ELEVATION
	GRAVITY VENT		SLOPE (DOWNWARD)
	SLEEPER, HEAVY AND FLOATING		ROOF CROSS-SECTION INDICATOR
	ROOF DRAIN LEADER EXIT		DUCTWORK
	HVAC UNIT		BOX
	GANGED PENETRATION		LADDER
	SECURITY CAMERA		EXISTING COMPONENT
			ATTIC VENT



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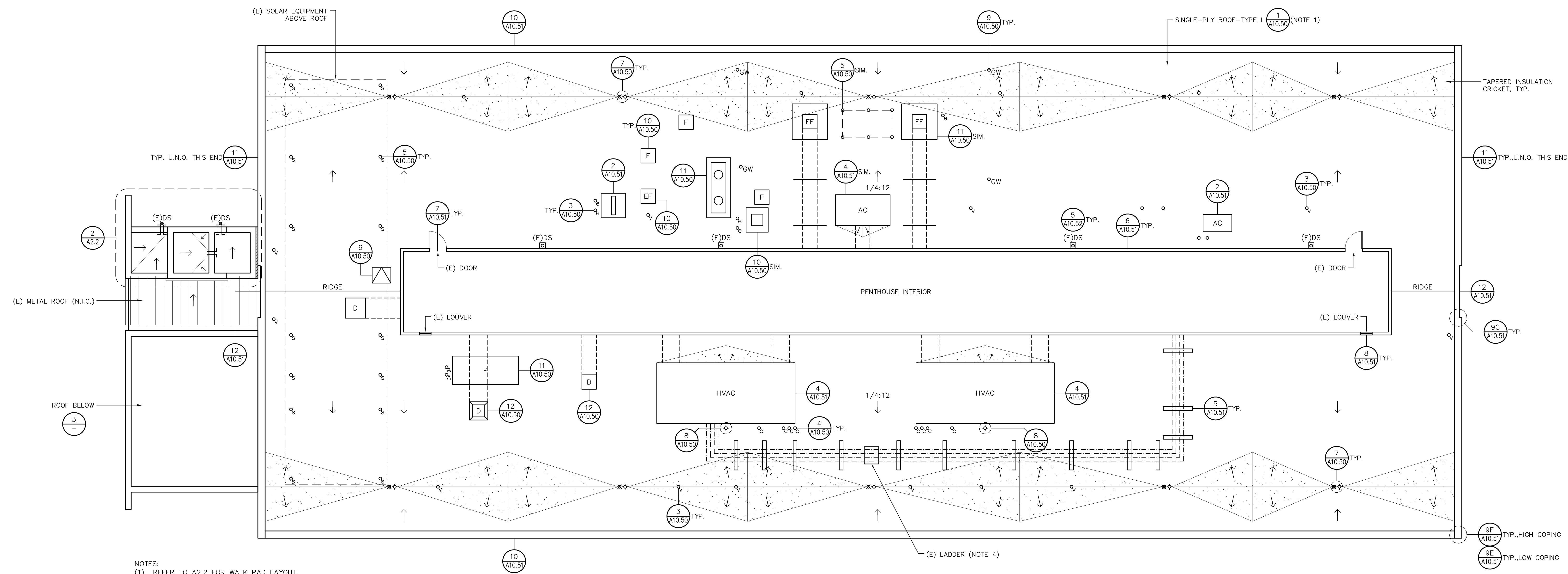
PROJECT  
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PLEASANT HILL, CALIFORNIA

OWNER  
CONTRA COSTA COMMUNITY COLLEGE DISTRICT  
500 COURT STREET  
MARTINEZ, CALIFORNIA

NO.	DATE	DESCRIPTION	BY
	5/24/24	BID SET	EY
PROJECT NO.	24007		
CADD FILE			
DESIGNED BY	AEB		
DRAWN BY	EY		
CHECKED BY	AEB		
DATE	10 APR 2024		
DRAWING SCALE	NO SCALE		
SHEET TITLE			
TITLE SHEET, GENERAL NOTES, ABBREVIATIONS AND LEGEND			
DRAWING NO.			
A1.0			
OF			

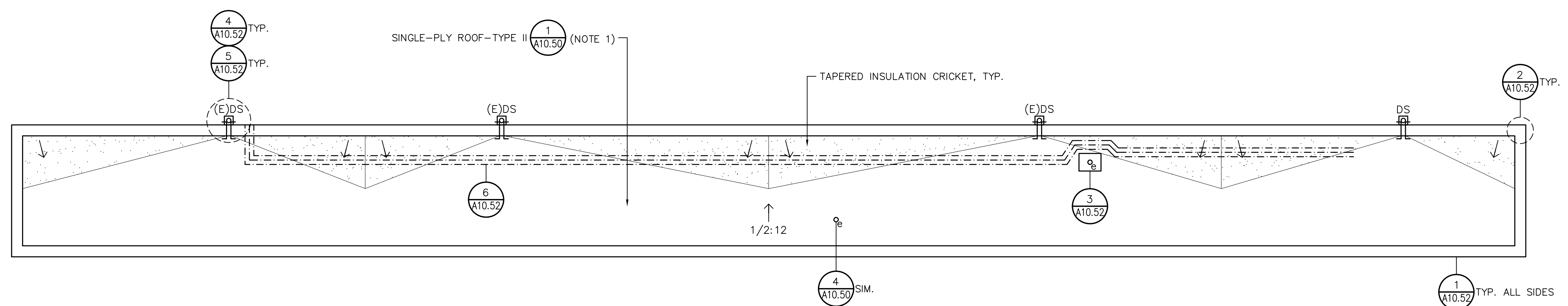
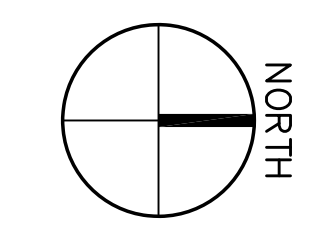
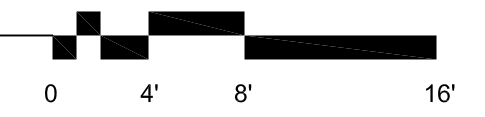
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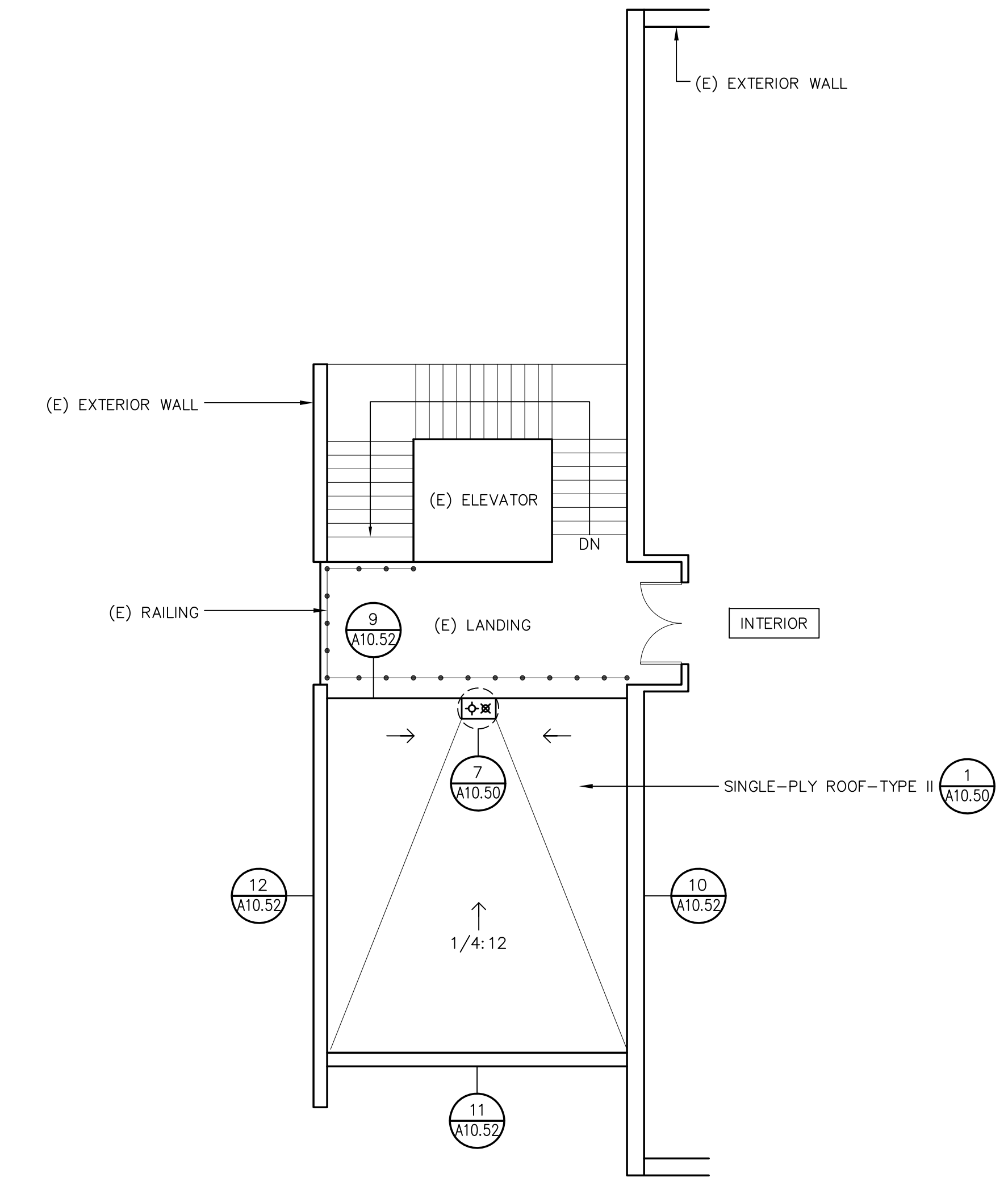
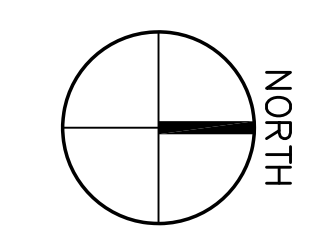
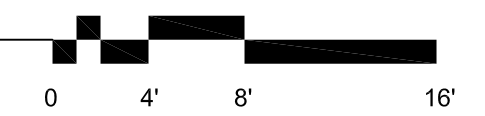
- NOTES:  
 (1) REFER TO A2.2 FOR WALK PAD LAYOUT.  
 (2) INSTALL TAPERED INSULATION CRICKET AT UPSLOPE SIDES OF PENETRATIONS EXCEEDING 24" WIDE.  
 (3) ALL MECHANICAL UNITS ARE EXISTING.  
 (4) EXISTING LADDER WILL REMAIN. REMOVE AND RECONNECT TO THE CURBS AS REQUIRED TO INSTALL THE ROOF SYSTEM.  
 (5) REFER TO DETAIL 1/A10.53 FOR GANGED PENETRATION FLASHING.

**1 BUILDING ROOF PLAN**  
 SCALE: 1/8"=1'-0"

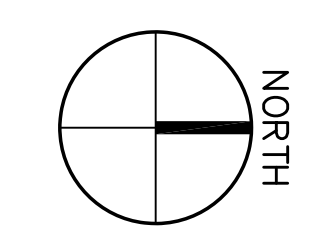
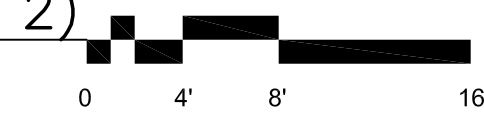


- NOTE:  
 (1) WALL-MOUNTED PHOTOVOLTAICS ARE NOT SHOWN FOR CLARITY.

**2 PENTHOUSE ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**3 DENTAL HYGIENE ROOF PLAN (LEVEL 2)**  
 SCALE: 1/8"=1'-0"



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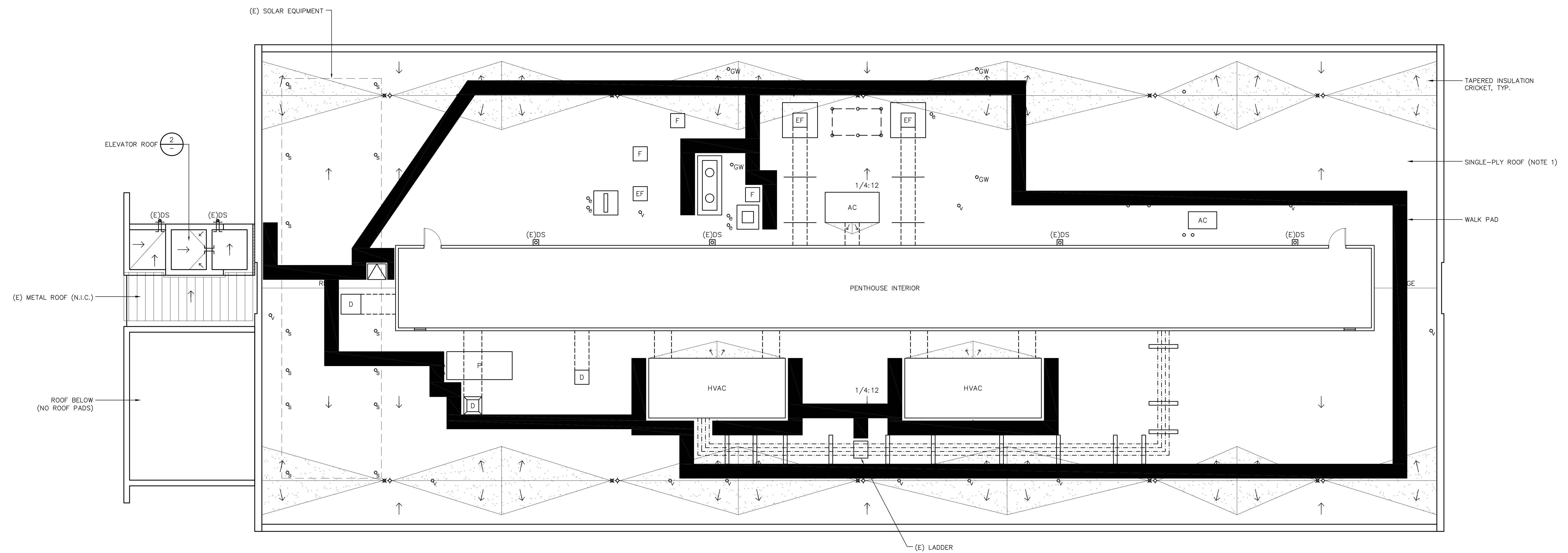
OWNER  
 CONTRA COSTA COMMUNITY COLLEGE DISTRICT  
 500 COURT STREET  
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DRAWING SCALE	AS NOTED		

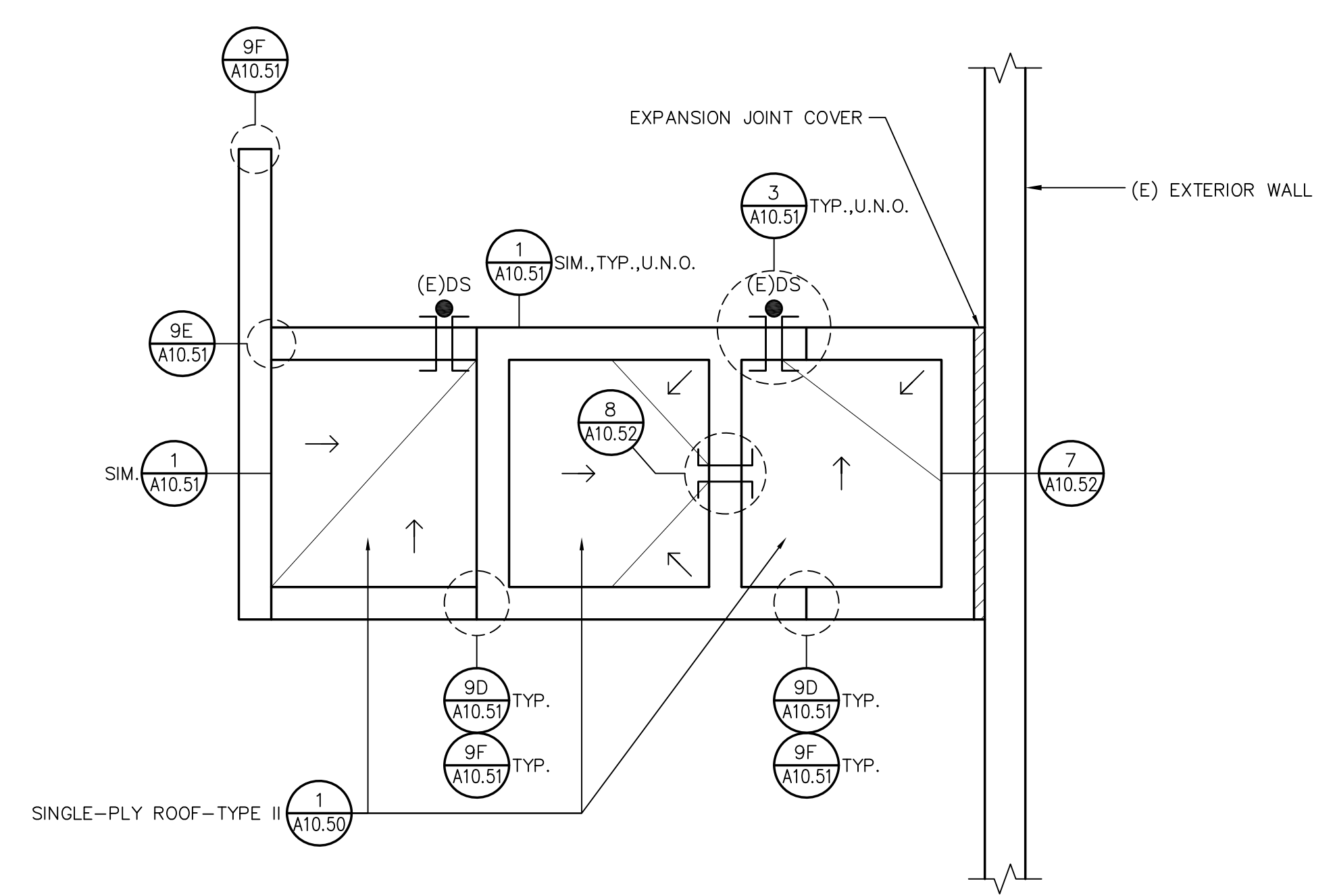
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**LHS BUILDING ROOF PLANS**

DRAWING NO.  
**A2.1**  
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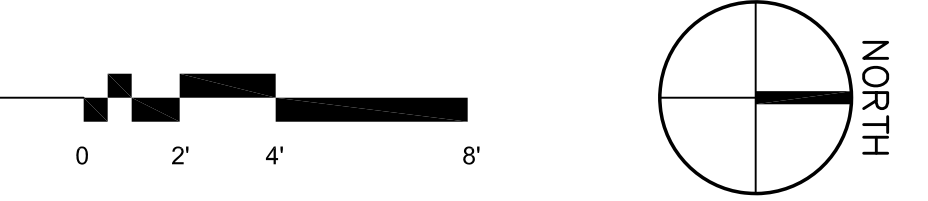


NOTE:  
 (1) REFER TO A2.1 FOR ROOF DETAIL INFORMATION.

1 BUILDING WALK PAD LAYOUT  
 SCALE: 1/8"=1'-0"



2 ELEVATOR ROOF  
 SCALE: 1/4"=1'-0"

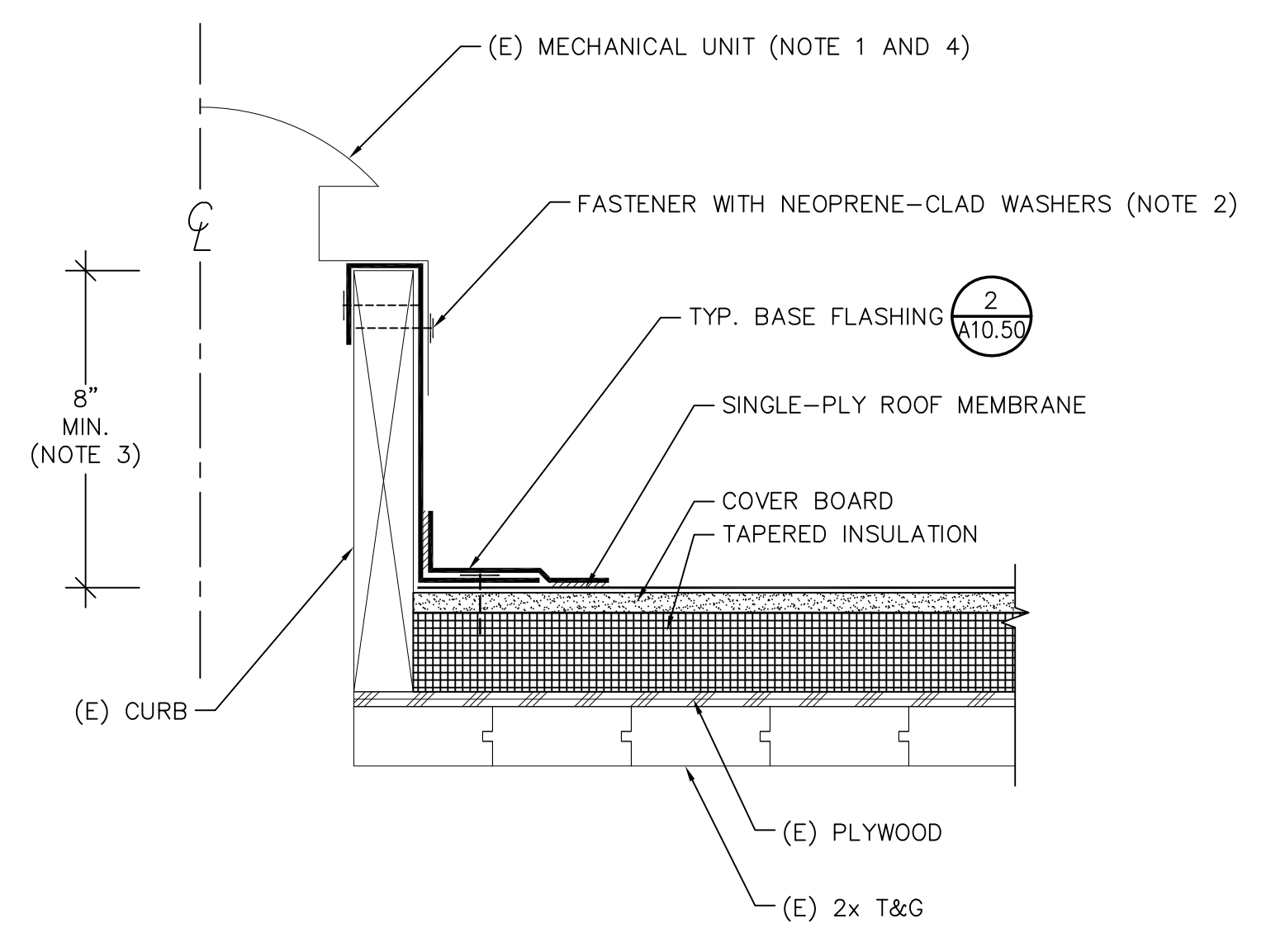


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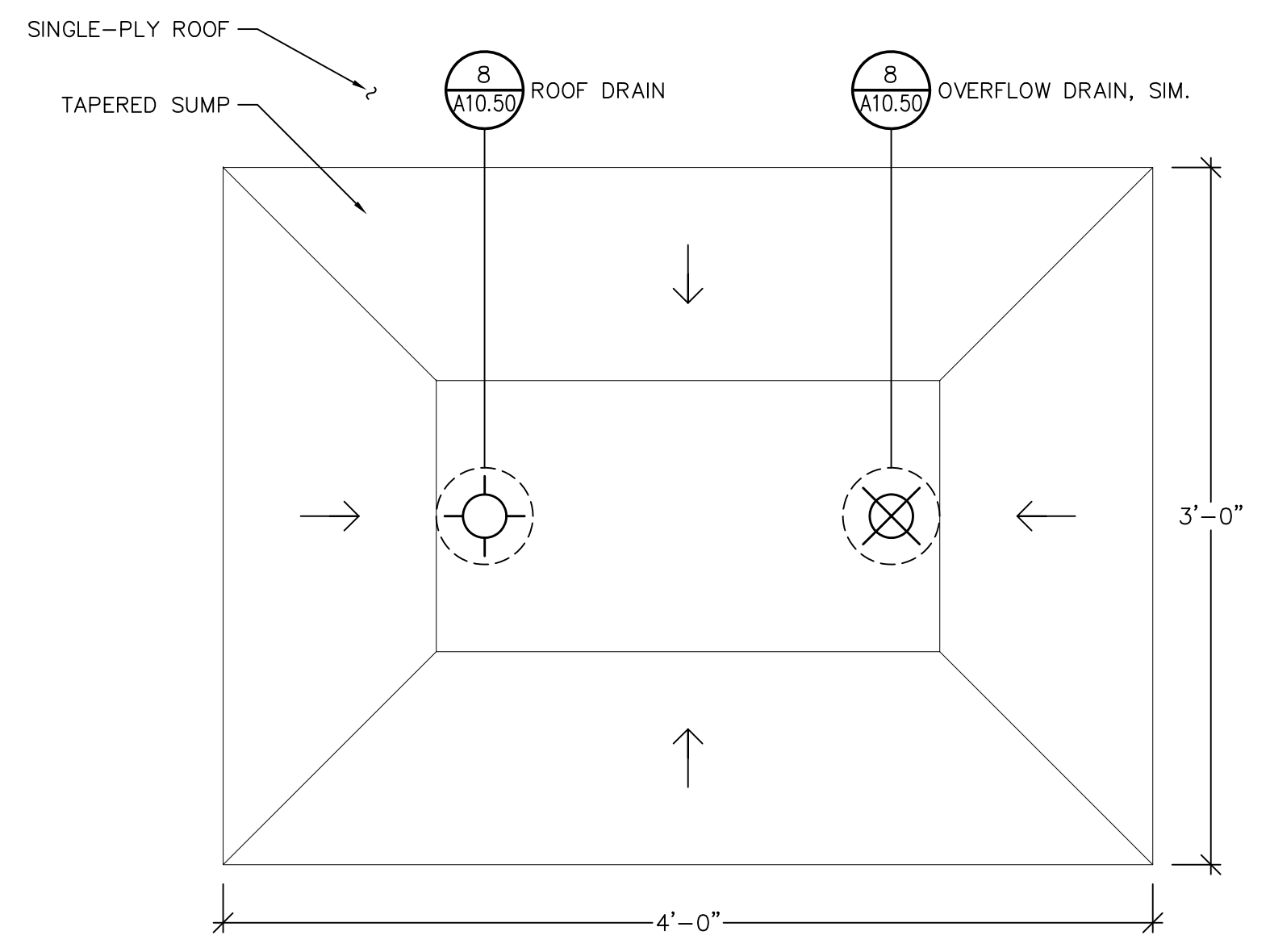
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DESIGNED BY		AEB	
DRAWN BY		EY	
CHECKED BY		AEB	
DATE		10 APR 2024	
DRAWING SCALE		AS NOTED	
SHEET TITLE			
LHS BUILDING WALK PAD LAYOUT AND ELEVATOR PLAN			
DRAWING NO.			
A2.2			
OF			

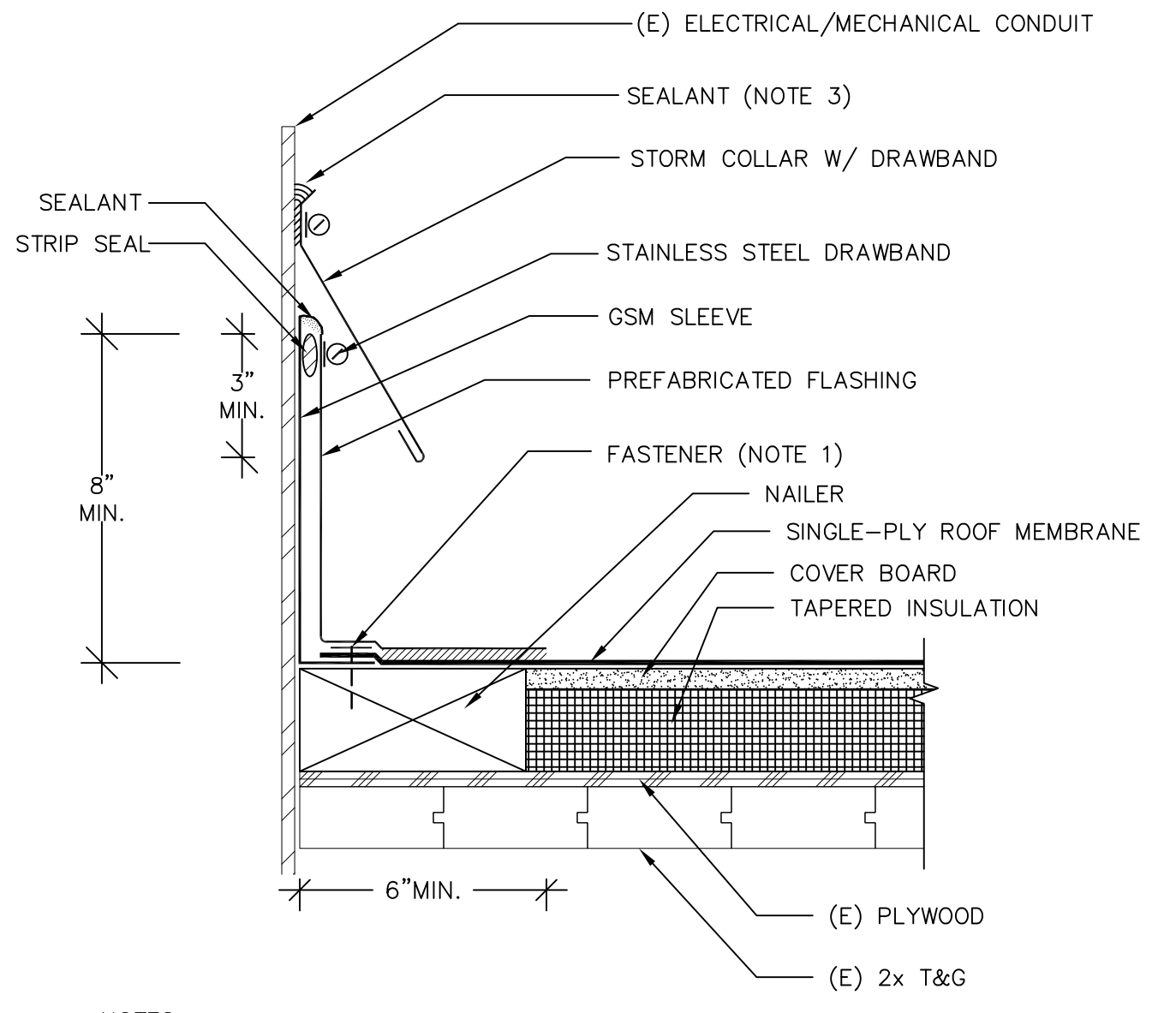


NOTES:  
 (1) REMOVE AND REINSTALL (E) MECHANICAL UNIT TO INSTALL NEW ROOF.  
 (2) INSTALL NEW FASTENERS IN (E) HOLES.  
 (3) RAISE CURB, AS REQUIRED TO ACHIEVE 8\"/>

**10 EXHAUST FAN**  
 A10.50 SCALE: NOT TO SCALE

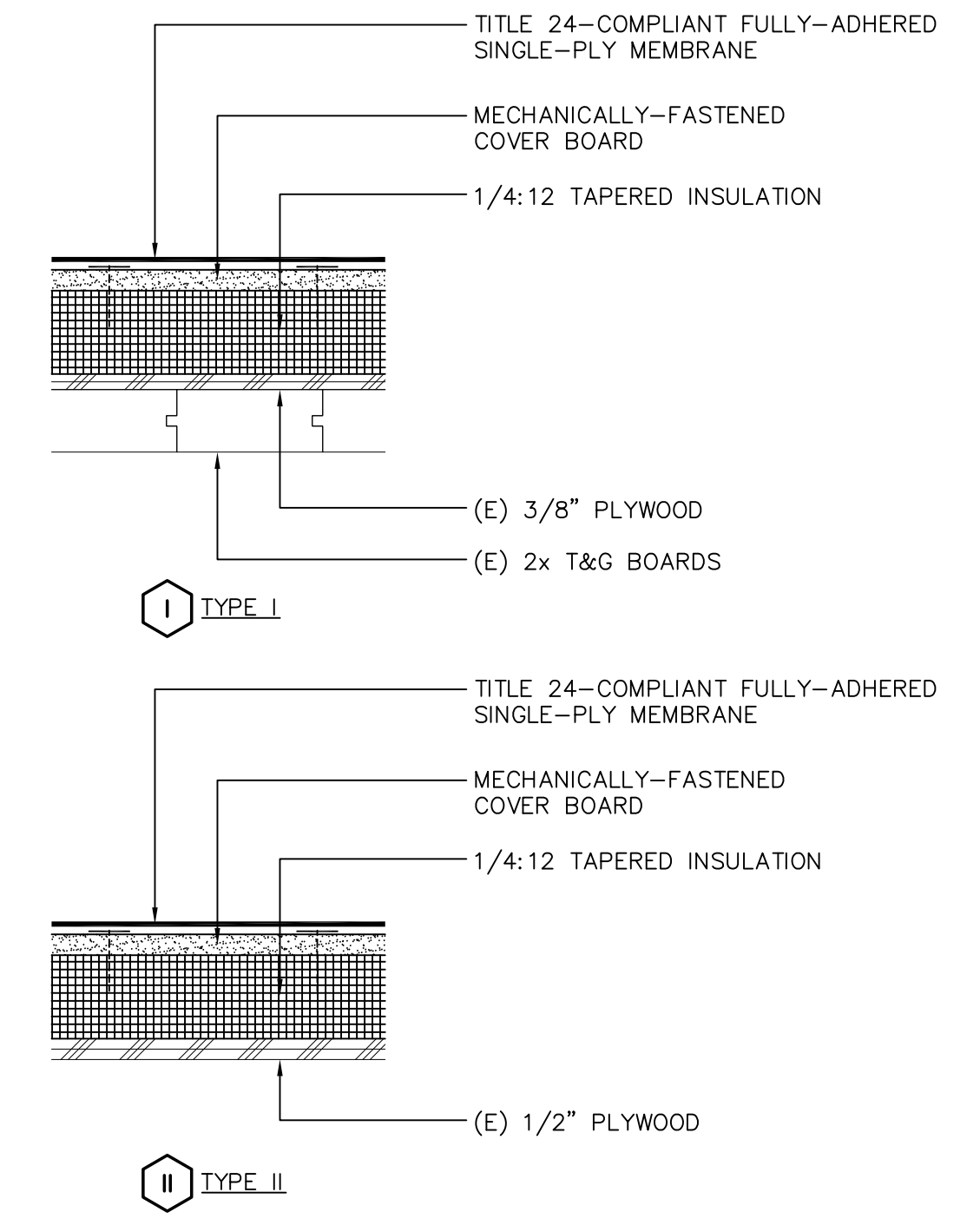


**7 ROOF AND OVERFLOW-PLAN VIEW**  
 A10.50 SCALE: NOT TO SCALE



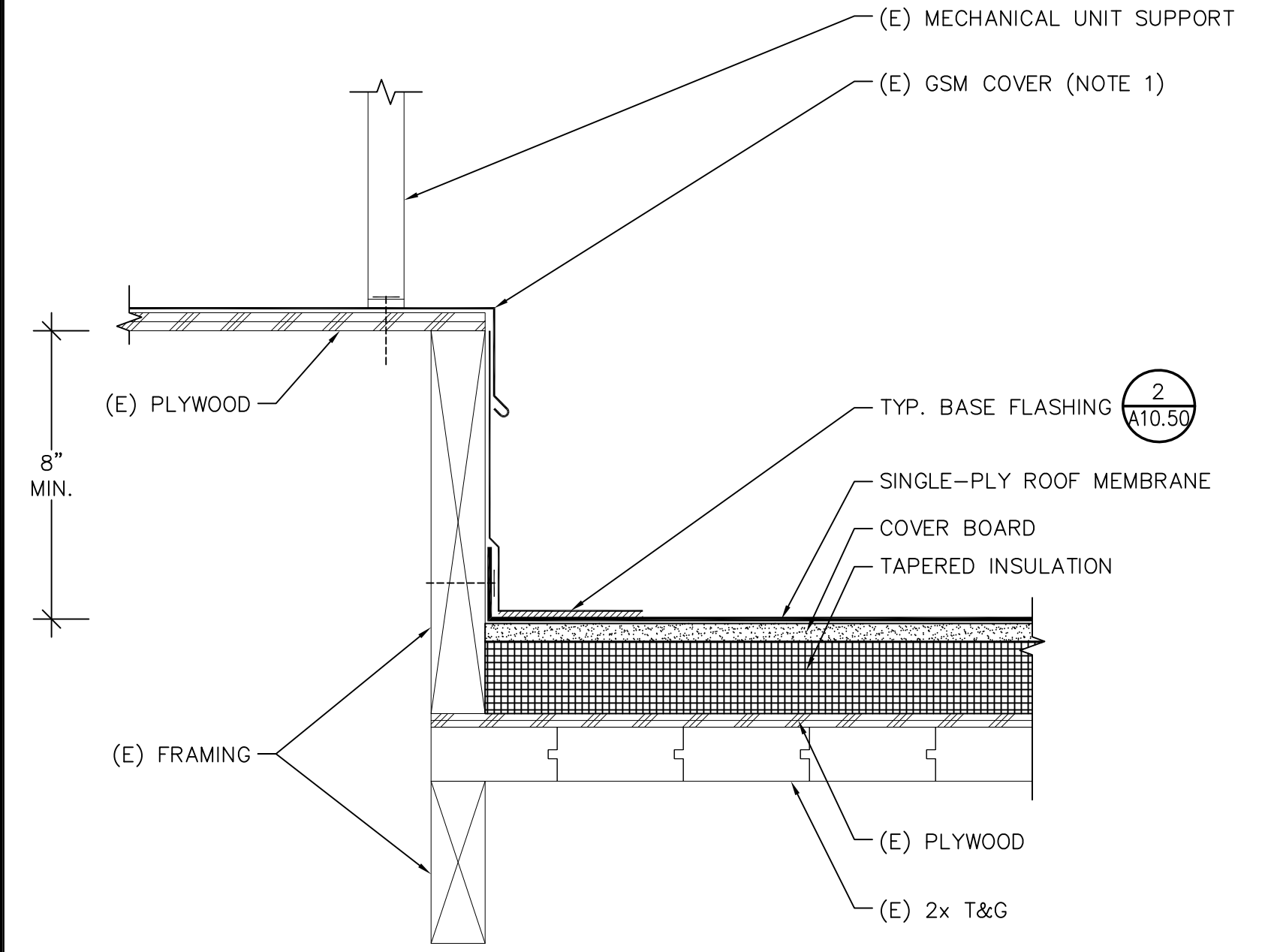
NOTES:  
 (1) INSTALL A MINIMUM OF ONE FASTENER FOR ROOF MEMBRANE AT VENT FLASHING.  
 (2) WHERE TEMPERATURE EXCEEDS 110°F, PROVIDE 1\"/>

**4 ELEC. CONDUIT/MECH. PIPE**  
 A10.50 SCALE: 3\"/>



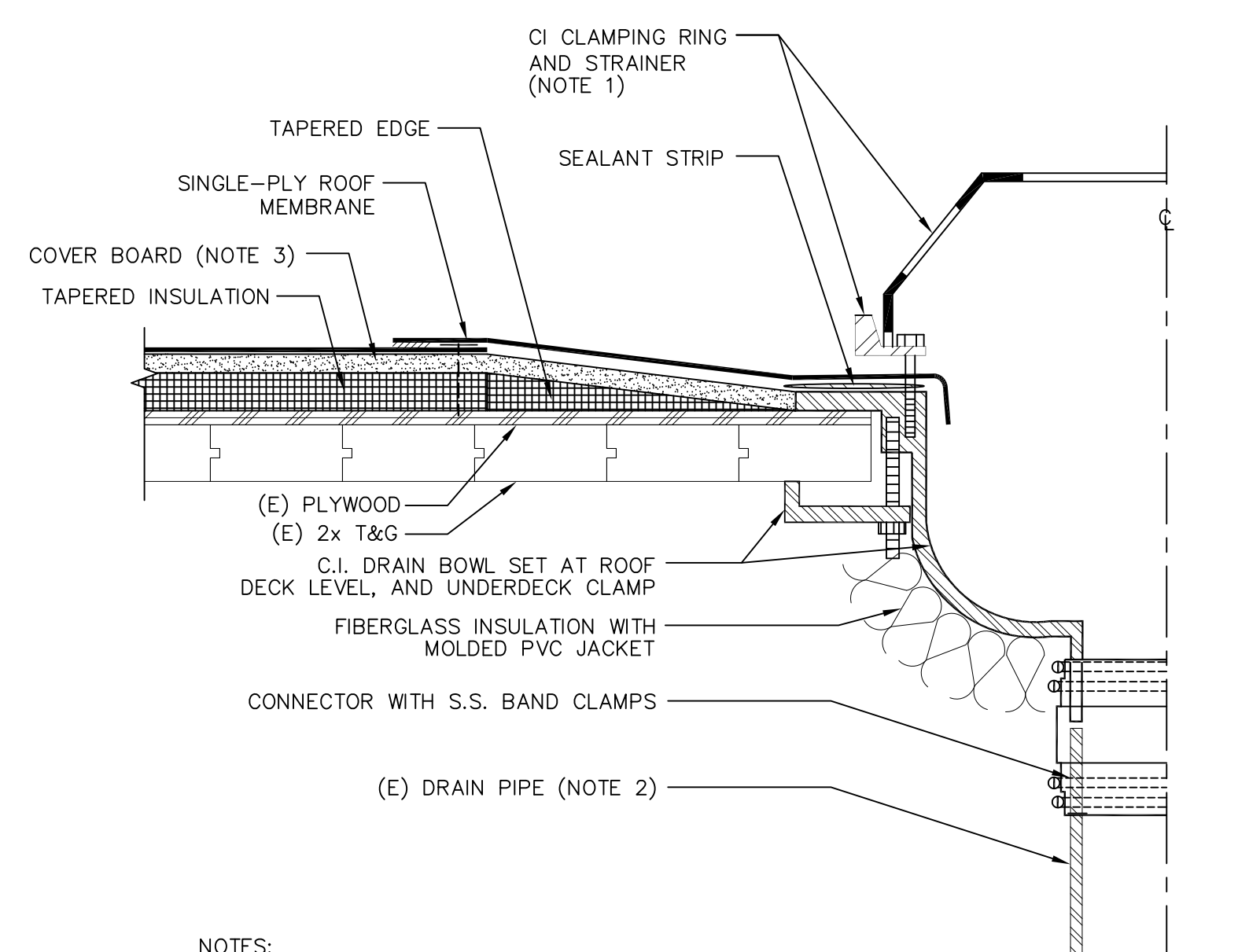
NOTES:  
 (1) THE ABOVE-LISTED ROOF SYSTEMS SHALL HAVE A CLASS A FIRE RATING.  
 (2) AS SHOWN FROM THE ROOF CORING, PROVIDE 1-1/2 IN. MINIMUM INSULATION.

**1 SINGLE-PLY ROOF ASSEMBLIES**  
 A10.50 SCALE: NOT TO SCALE



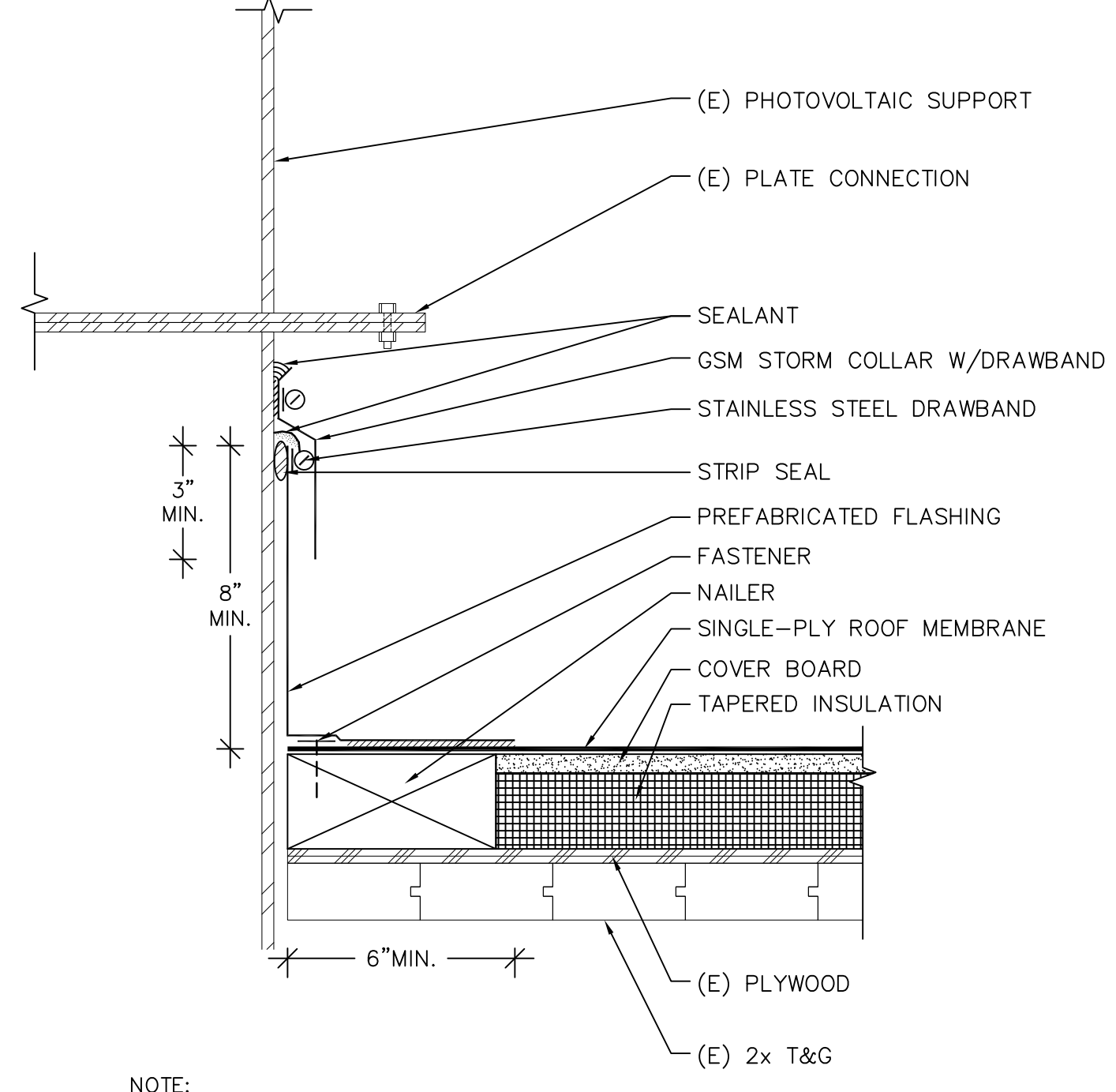
NOTE:  
 (1) LIFT VERTICAL FLANGE OF (E) GSM COVER TO INSTALL NEW ROOF. REPAIR CORNER JOINTS WITH SOLDER AND MECHANICAL FASTENED JOINTS.

**11 PLATFORM FOR DUCT**  
 A10.50 SCALE: NOT TO SCALE



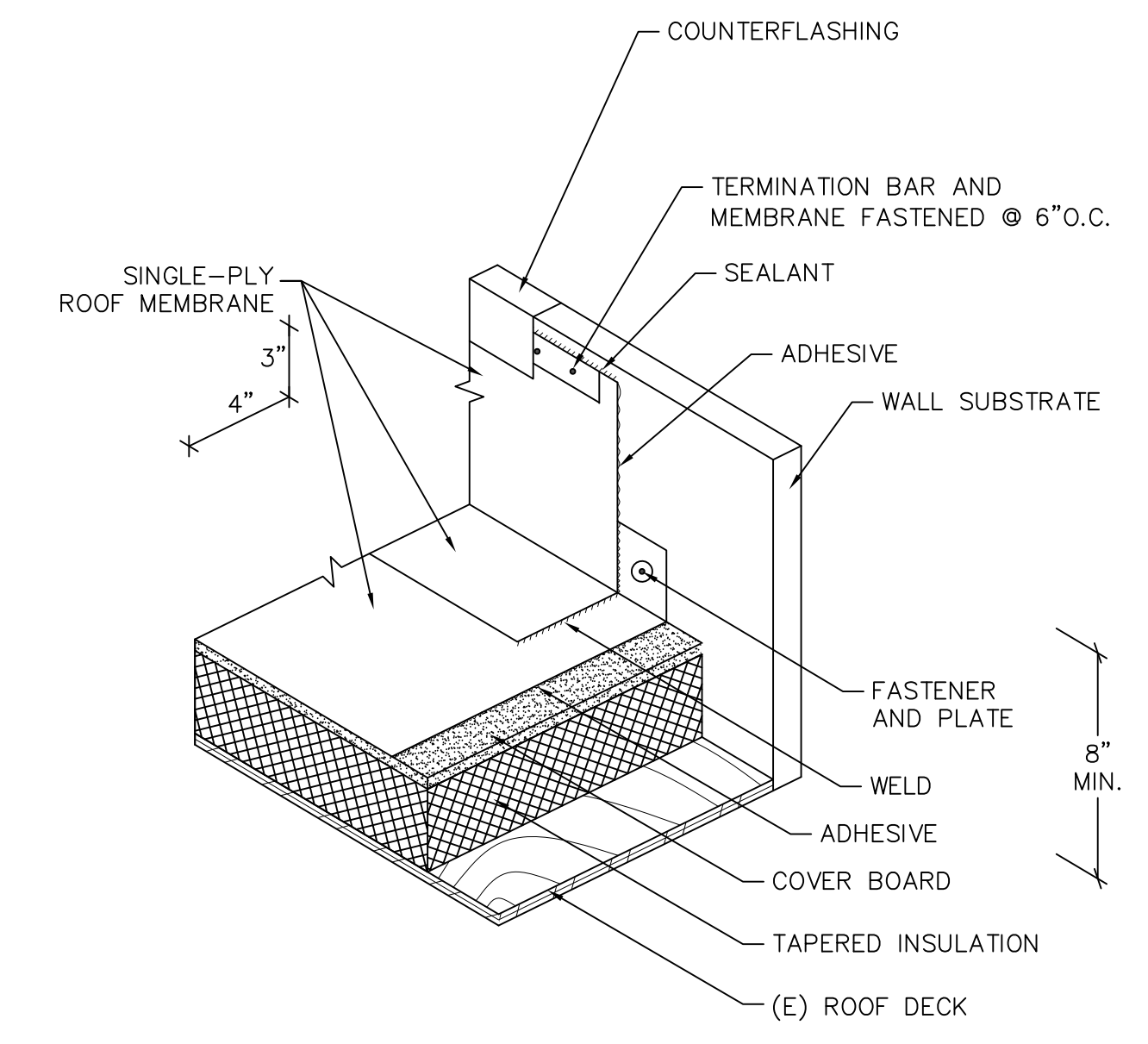
NOTES:  
 (1) PROVIDE STAINLESS STEEL HARDWARE (BOLTS, NUTS, WASHERS) FOR CLAMPING RINGS AND STRAINERS.  
 (2) CUT (E) DRAIN PIPE AS REQUIRED TO INSTALL NEW DRAIN BOWL.  
 (3) SHAVE COVER BOARD FLUSH WITH TOP OF DRAIN BOWL FLANGE.  
 (4) INSTALL COLLAR AT OVERFLOW DRAINS.  
 (5) REMOVE AND REPLACE (E) ROOF DECK AS REQUIRED TO INSTALL NEW ROOF DRAIN BOWL.

**8 ROOF DRAIN**  
 A10.50 SCALE: NOT TO SCALE

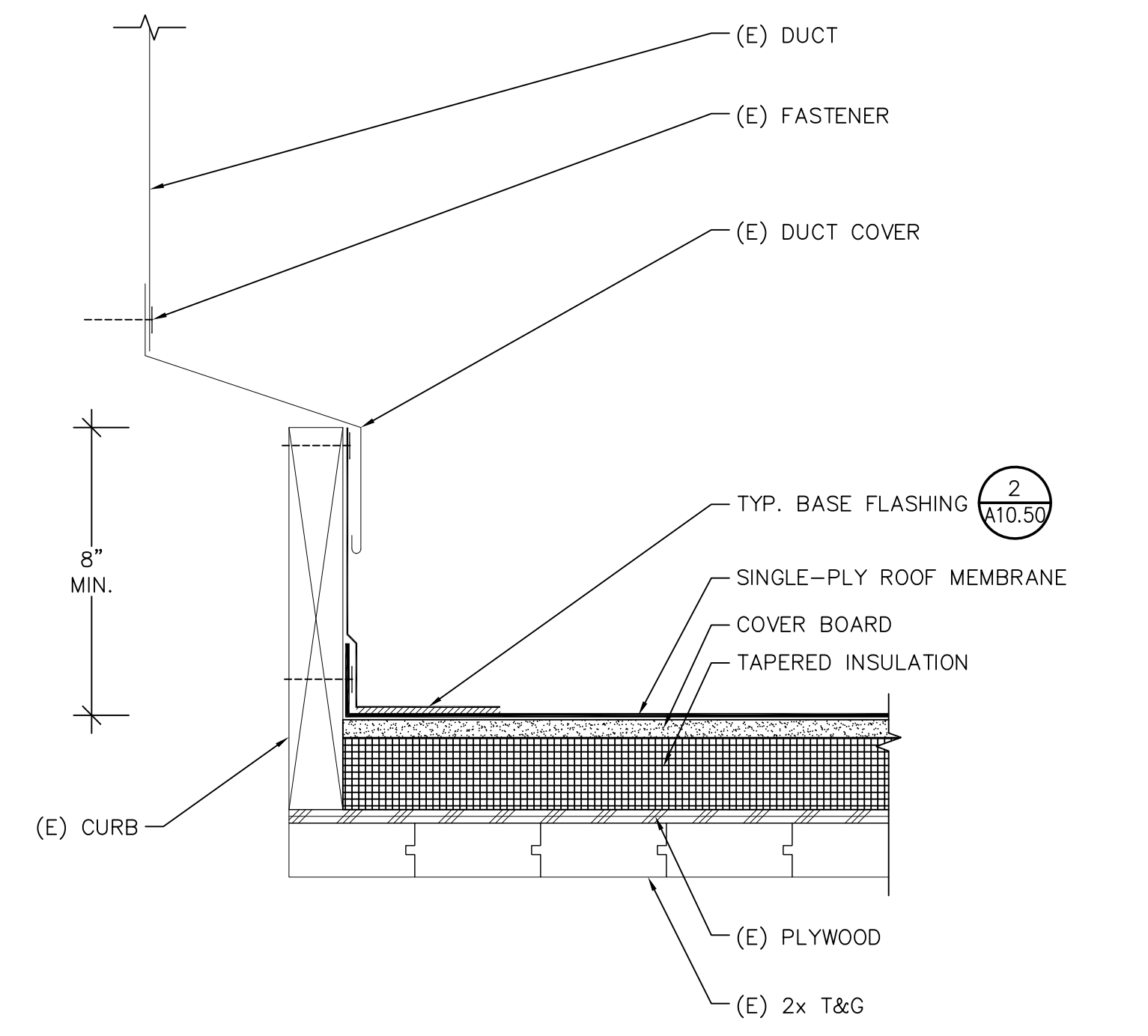


NOTE:  
 (1) THE ROOF-MOUNTED PHOTOVOLTAIC SYSTEM WILL REMAIN IN SERVICE (ACTIVE) DURING THE ROOF REPLACEMENT.

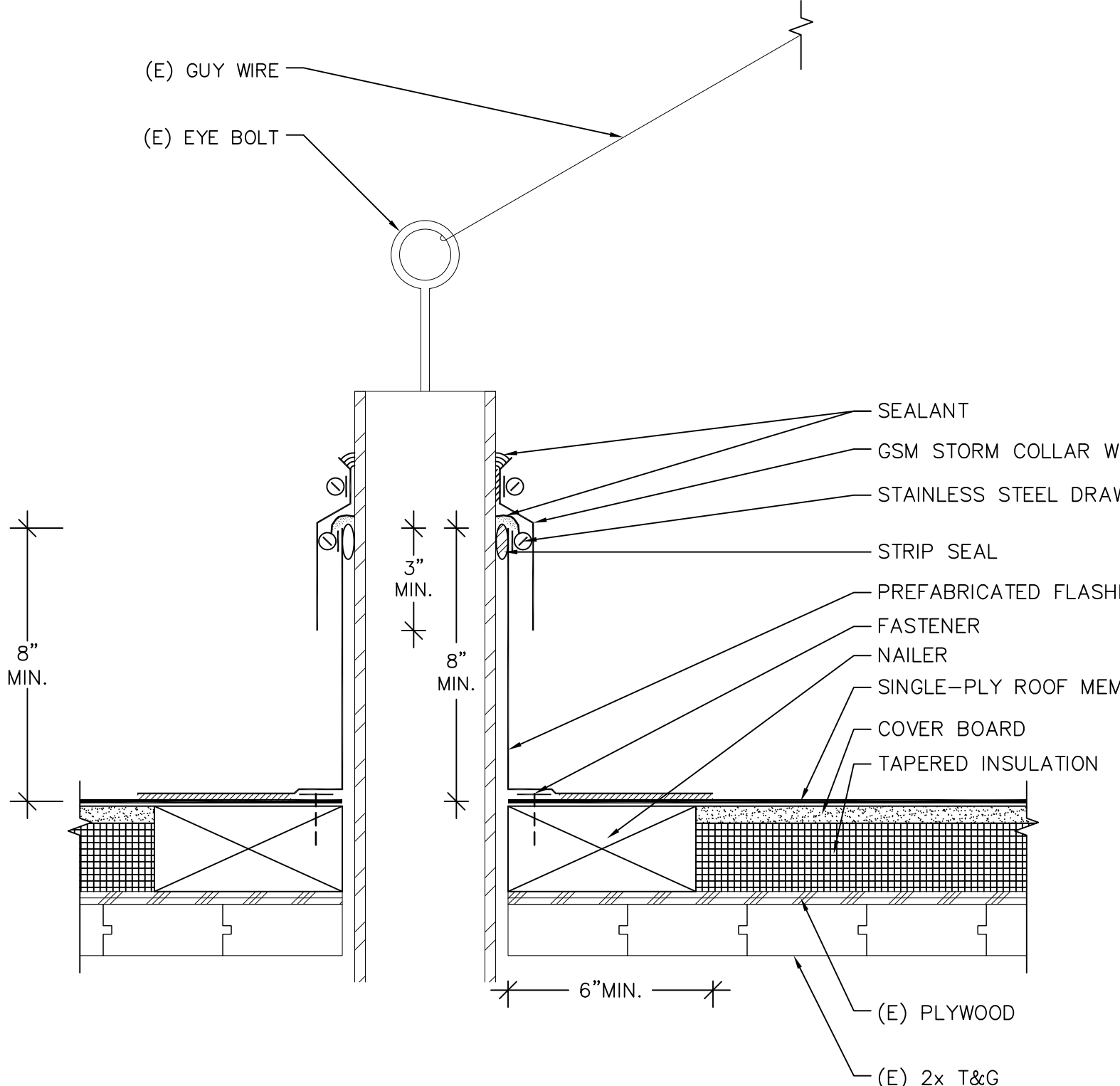
**5 PV SUPPORT**  
 A10.50 SCALE: 3\"/>



**2 TYPICAL BASE FLASHING**  
 A10.50 SCALE: NOT TO SCALE

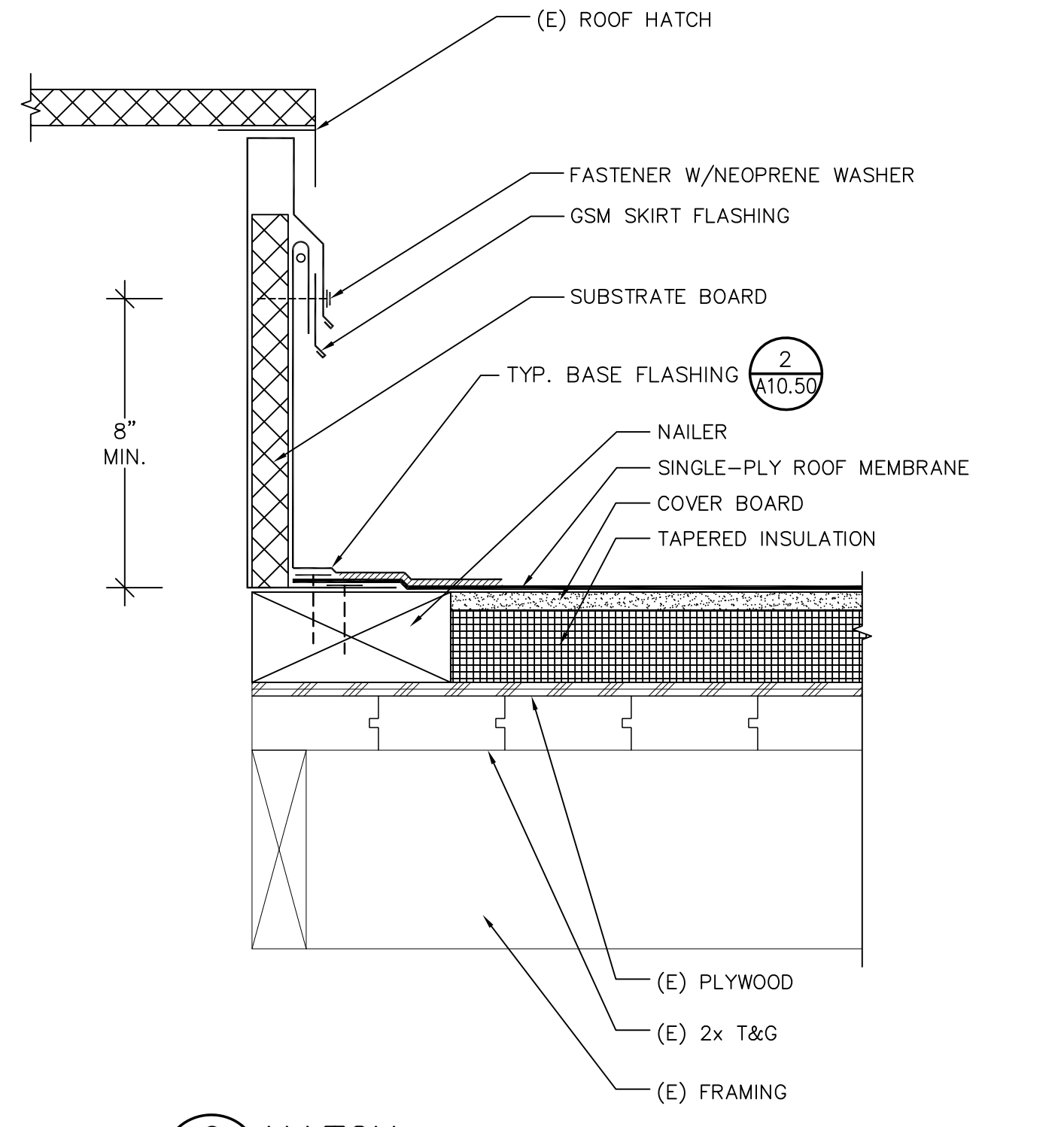


**12 DUCT**  
 A10.50 SCALE: 3\"/>

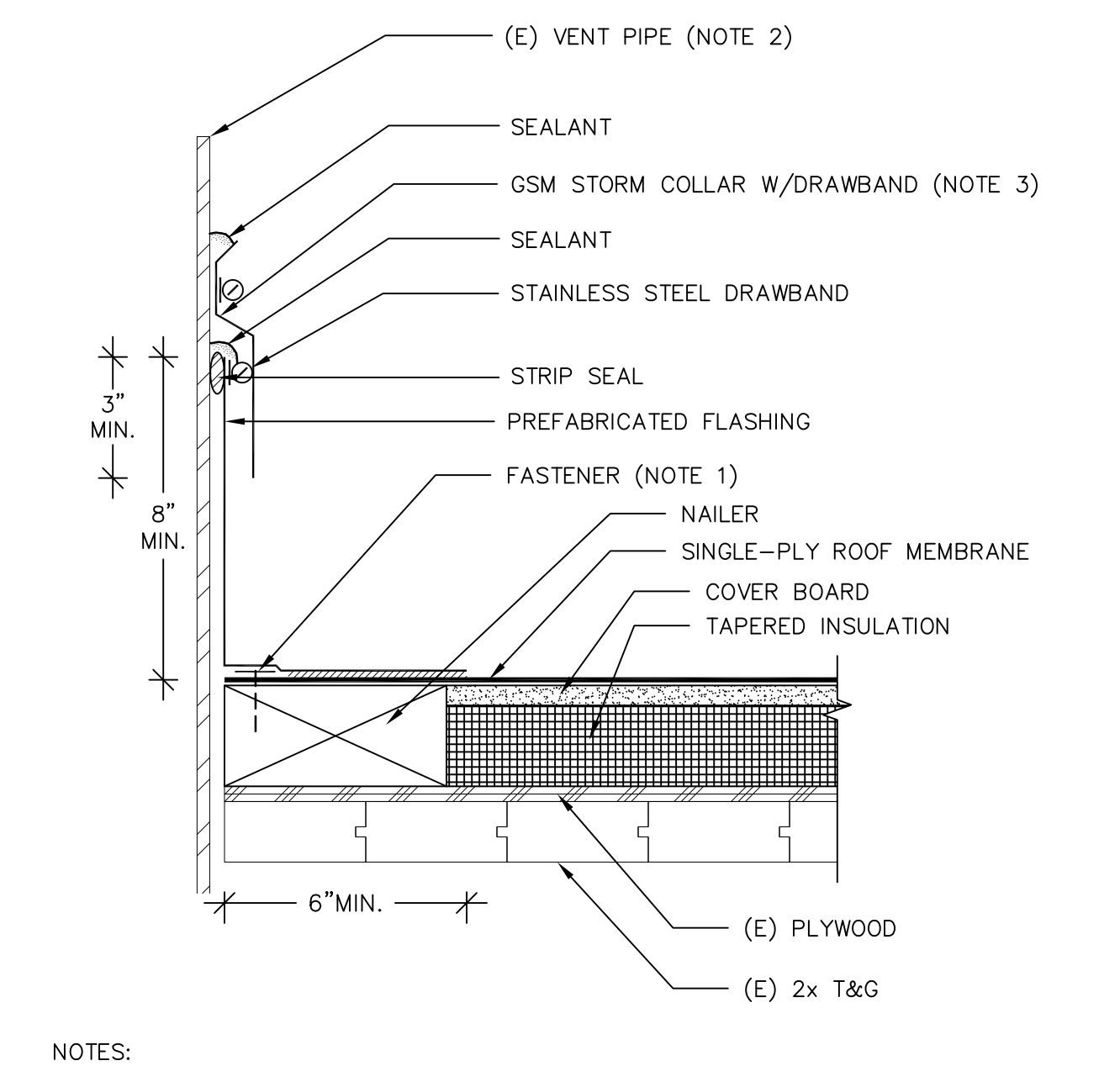


NOTE:  
 (1) GUY WIRE SHALL REMAIN IN PLACE DURING THE ROOF REPLACEMENT.

**9 GUY WIRE SUPPORT**  
 A10.50 SCALE: 3\"/>



**6 HATCH**  
 A10.50 SCALE: NOT TO SCALE



NOTES:  
 (1) INSTALL A MINIMUM OF ONE FASTENER AT VENT FLASHING.  
 (2) CLEAN ASPHALT FROM (E) VENT PIPE AND WRAP WITH ALUMINUM TAPE.  
 (3) SOLDER STORM COLLAR LAP JOINTS.  
 (4) RAISE (E) VENT PIPE TO ACHIEVE 8 IN. REQUIREMENT. LOCATE CONNECTOR BELOW ROOF DECK, ASSUME 1/2 VENT PIPES FOR BIDDING.

**3 VENT PIPE**  
 A10.50 SCALE: 3\"/>

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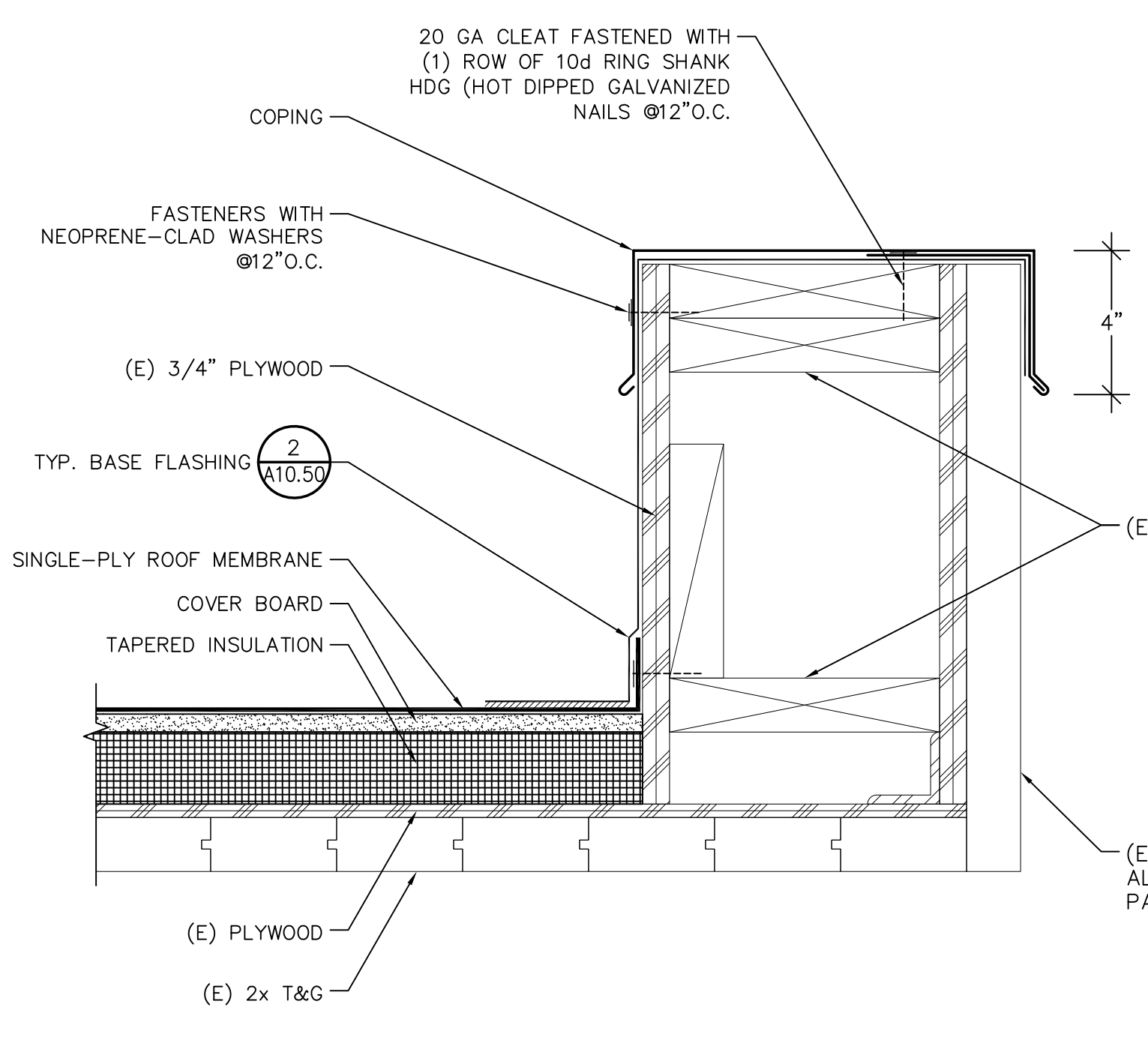
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PROJECT NO.	24007		
CADD FILE			
DESIGNED BY	AEB		
DRAWN BY	EY		
CHECKED BY	AEB		
DATE	10 APR 2024		
DRAWING SCALE	AS NOTED		
SHEET TITLE			

**SINGLE-PLY ROOF DETAILS**

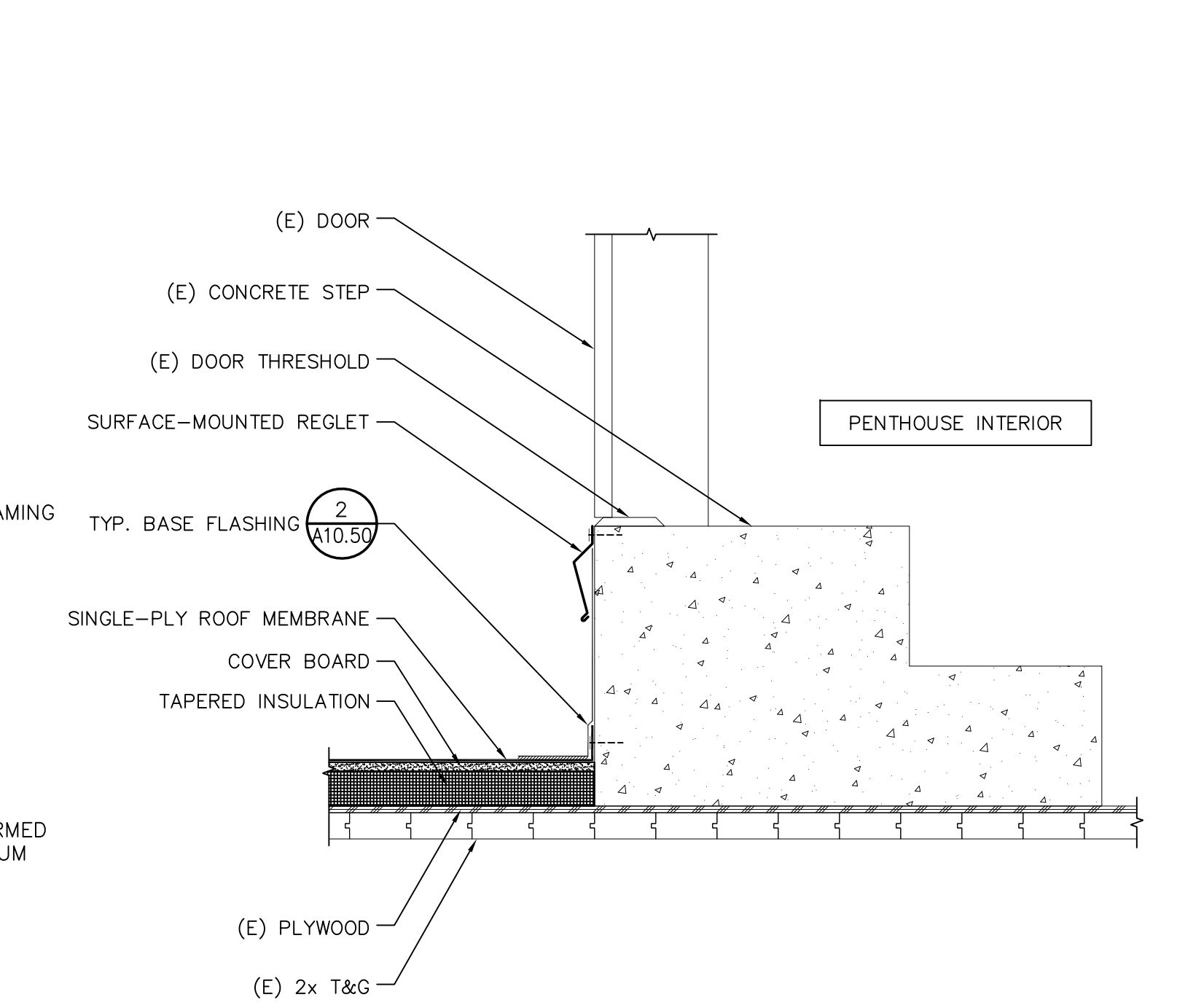
DRAWING NO.  
**A10.50**

OF

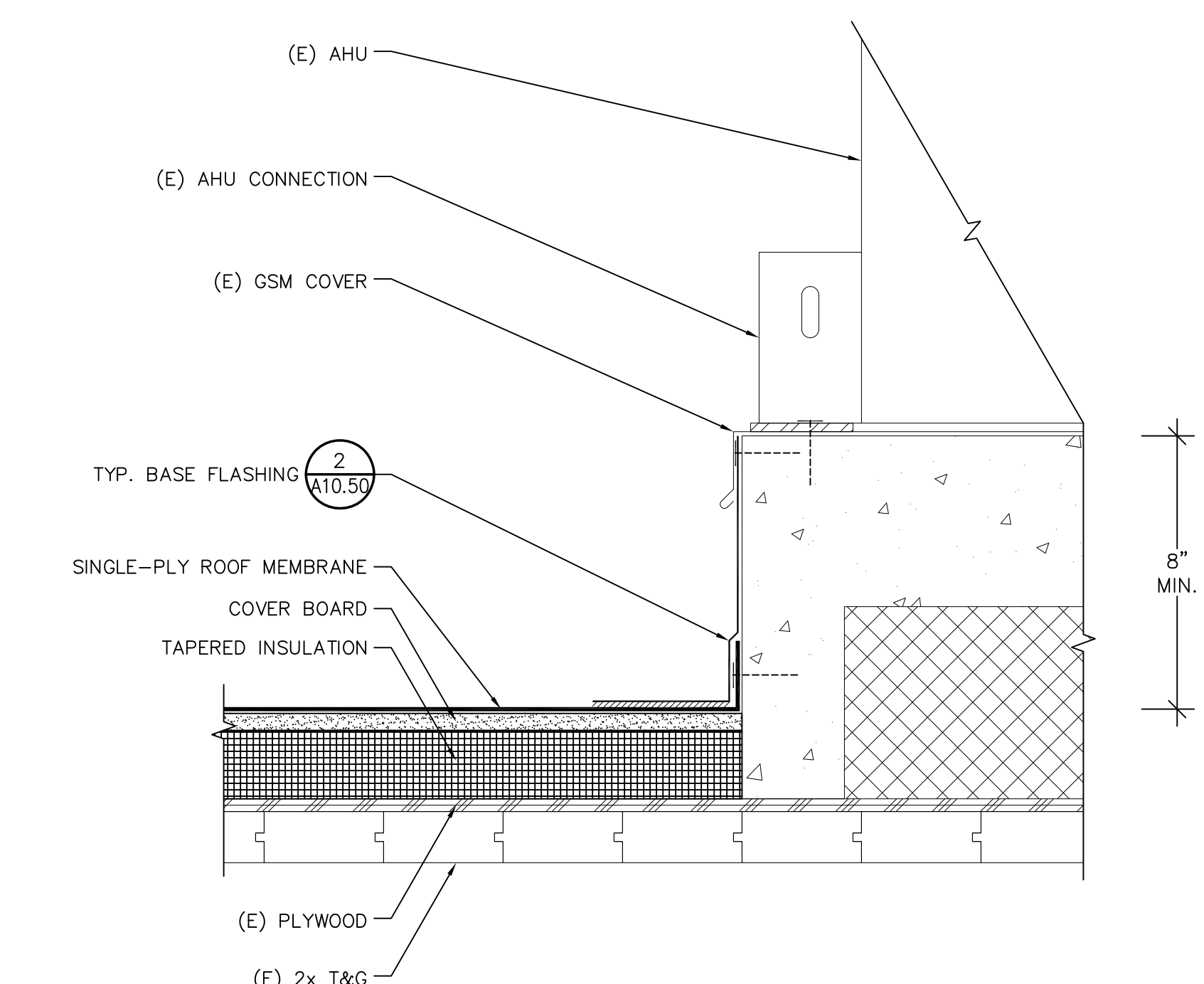
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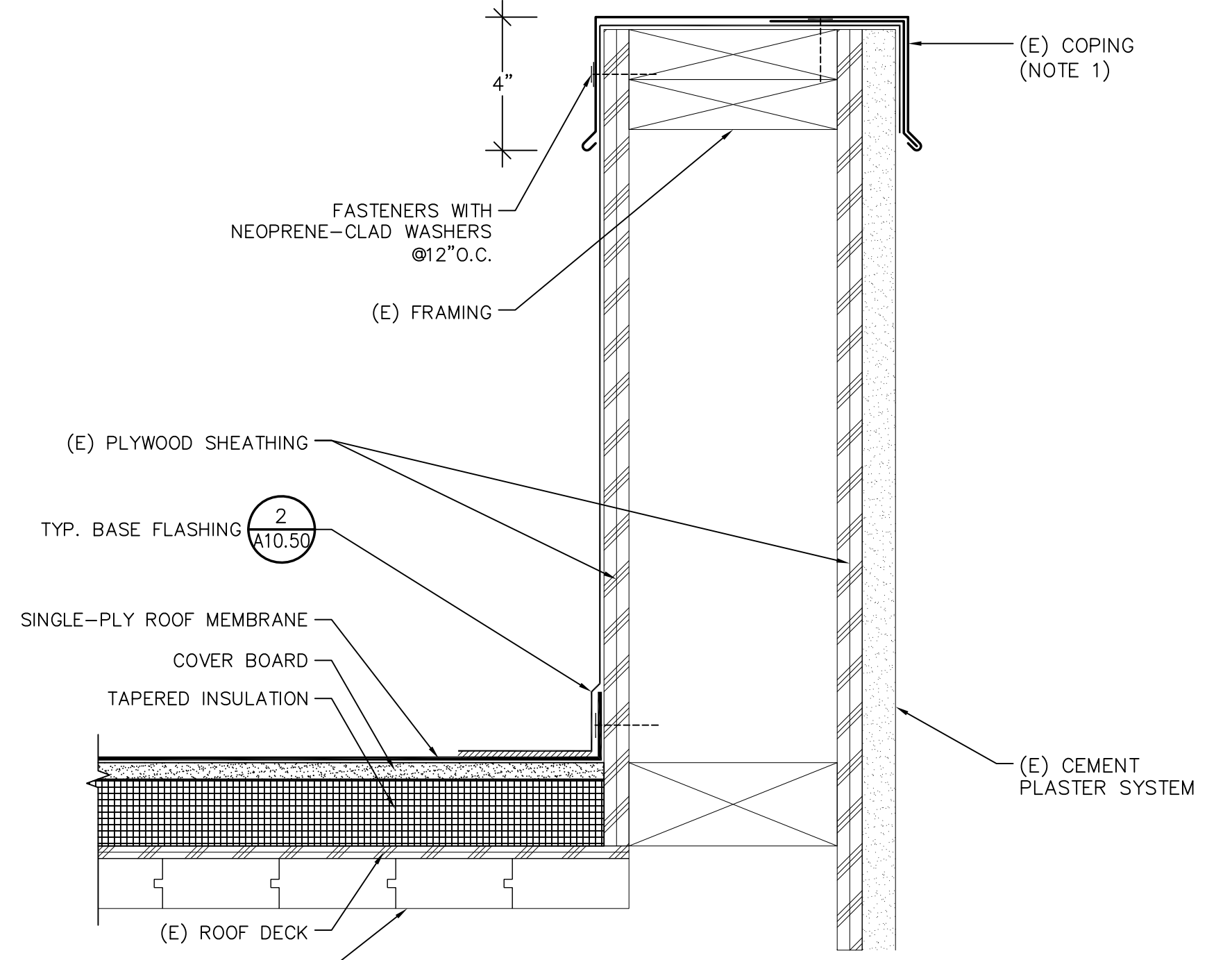
**10 PARAPET-TYPE I (LONGITUDINAL)**  
 A10.51 SCALE: 3"=1'-0"



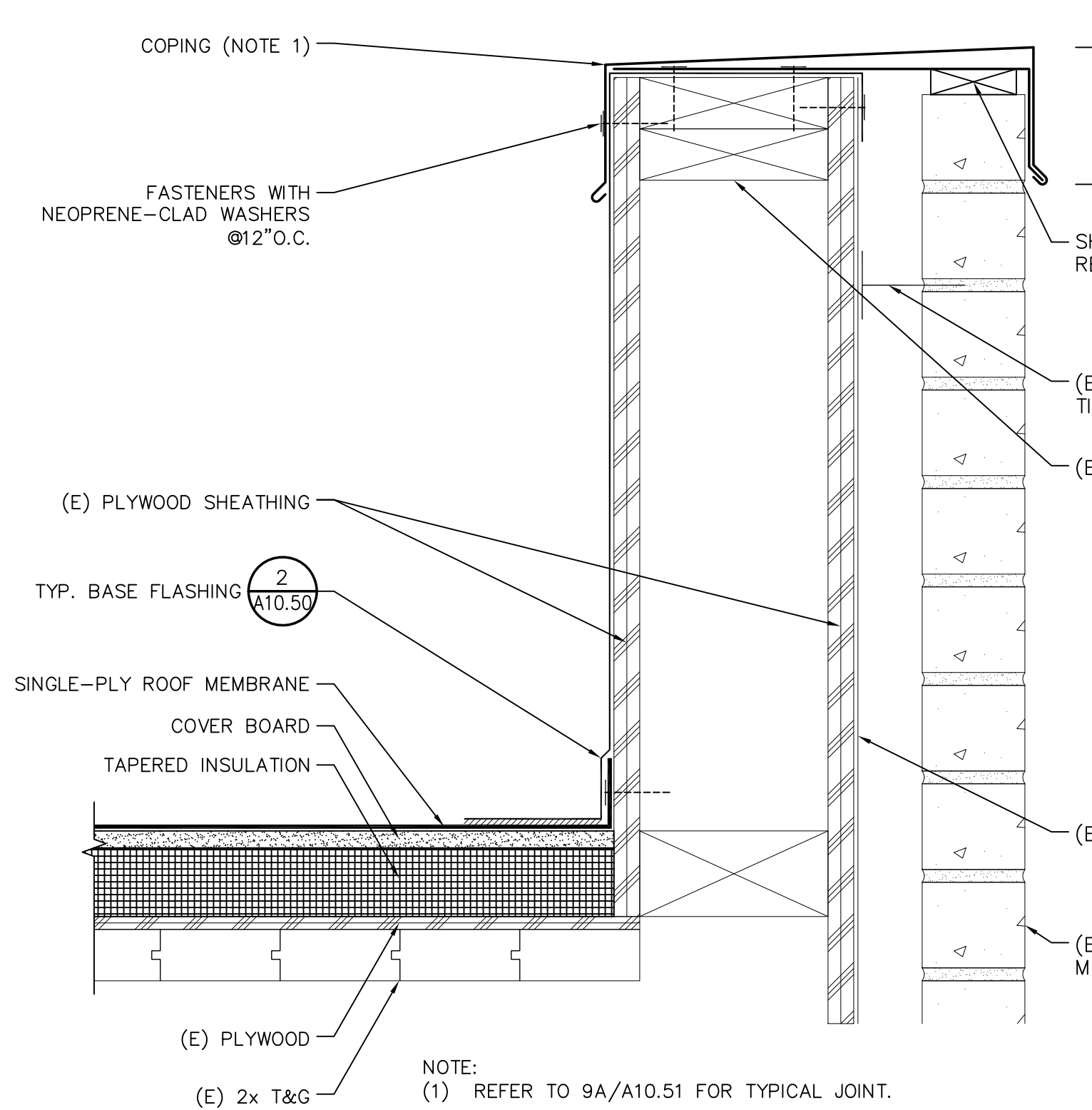
**7 DOOR**  
 A10.51 SCALE: 1-1/2"=1'-0"



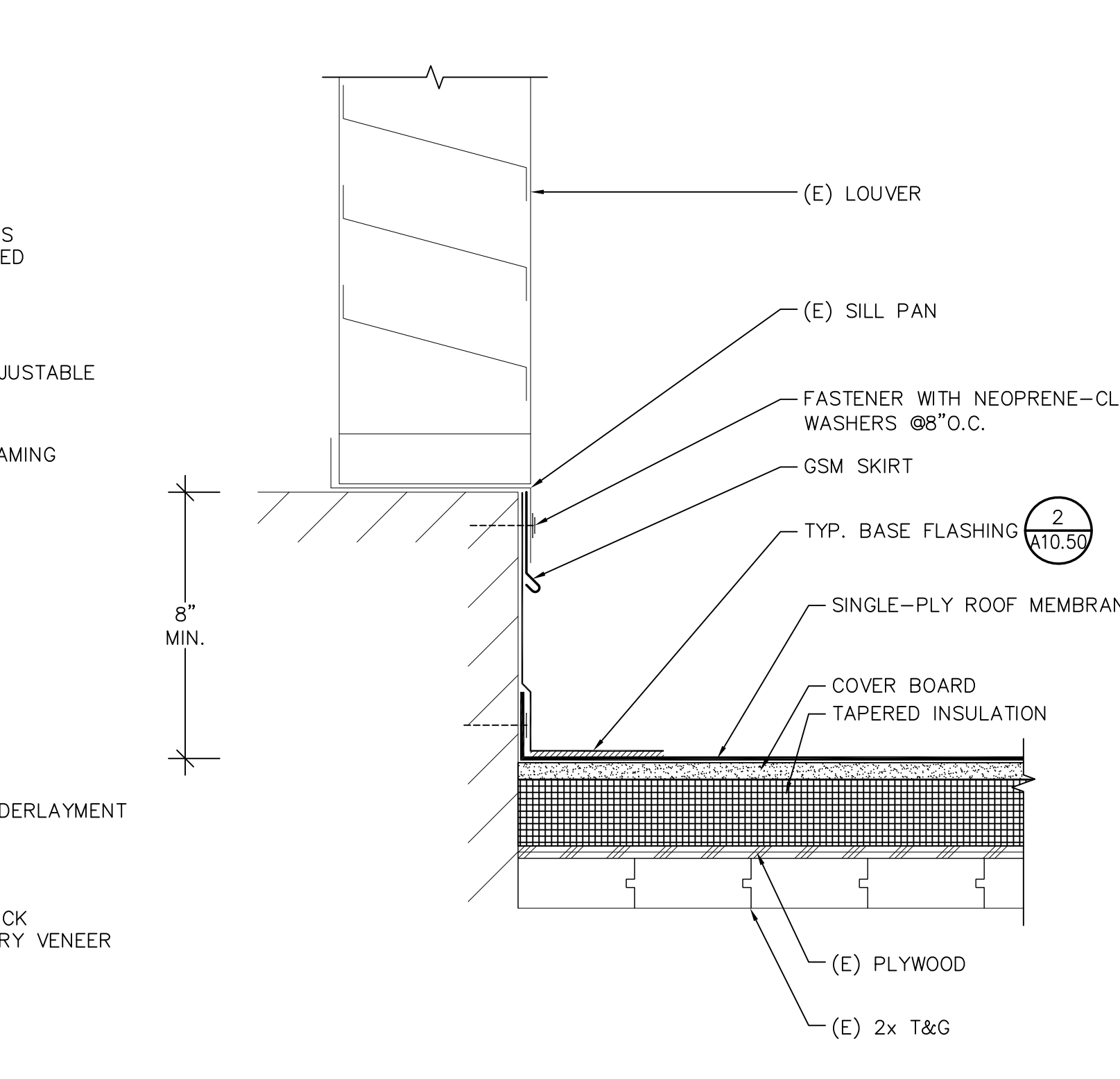
**4 AHU PAD**  
 A10.51 SCALE: 3"=1'-0"



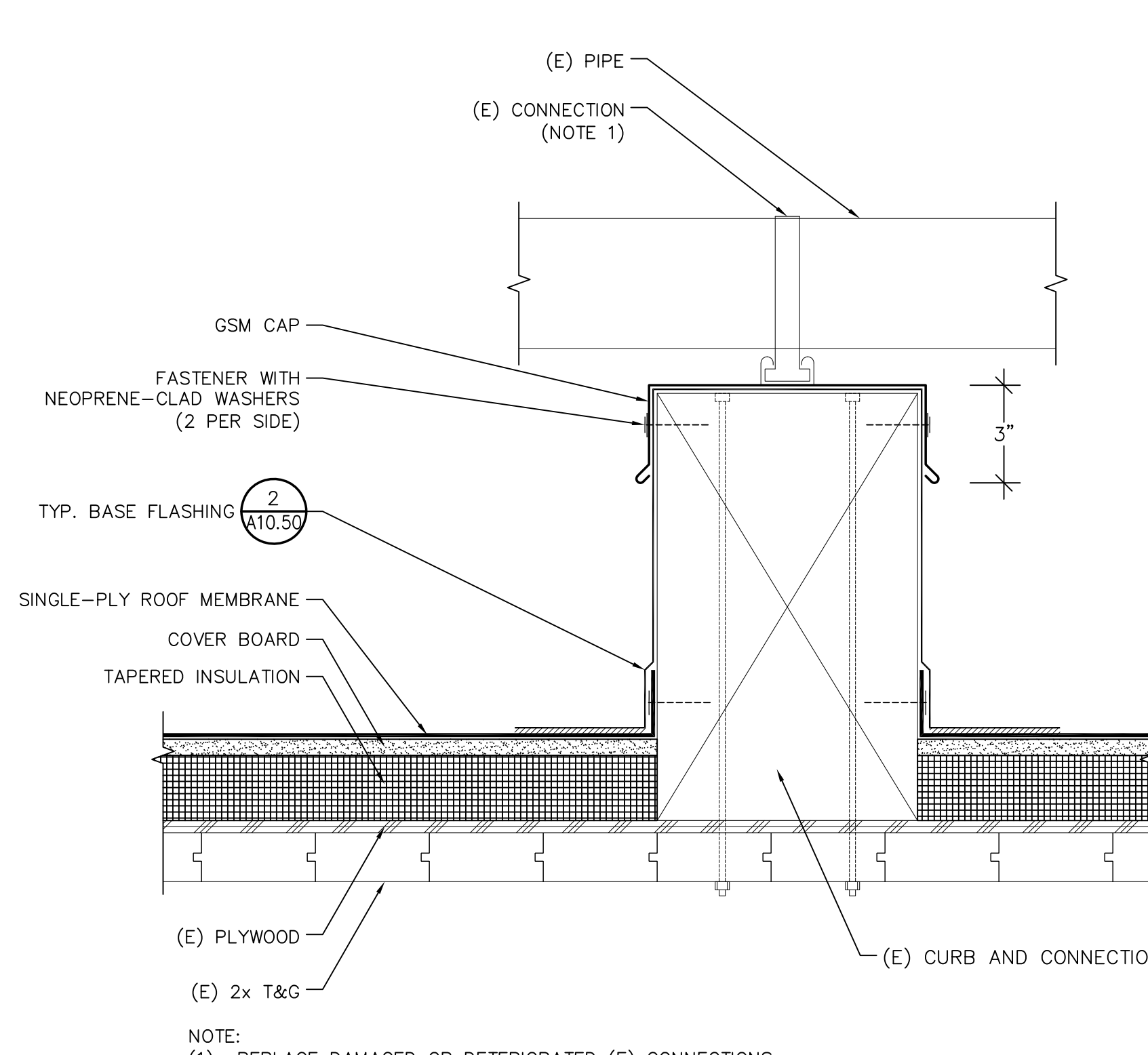
**1 ELEVATOR ROOF/WALL**  
 A10.51 SCALE: NOT TO SCALE



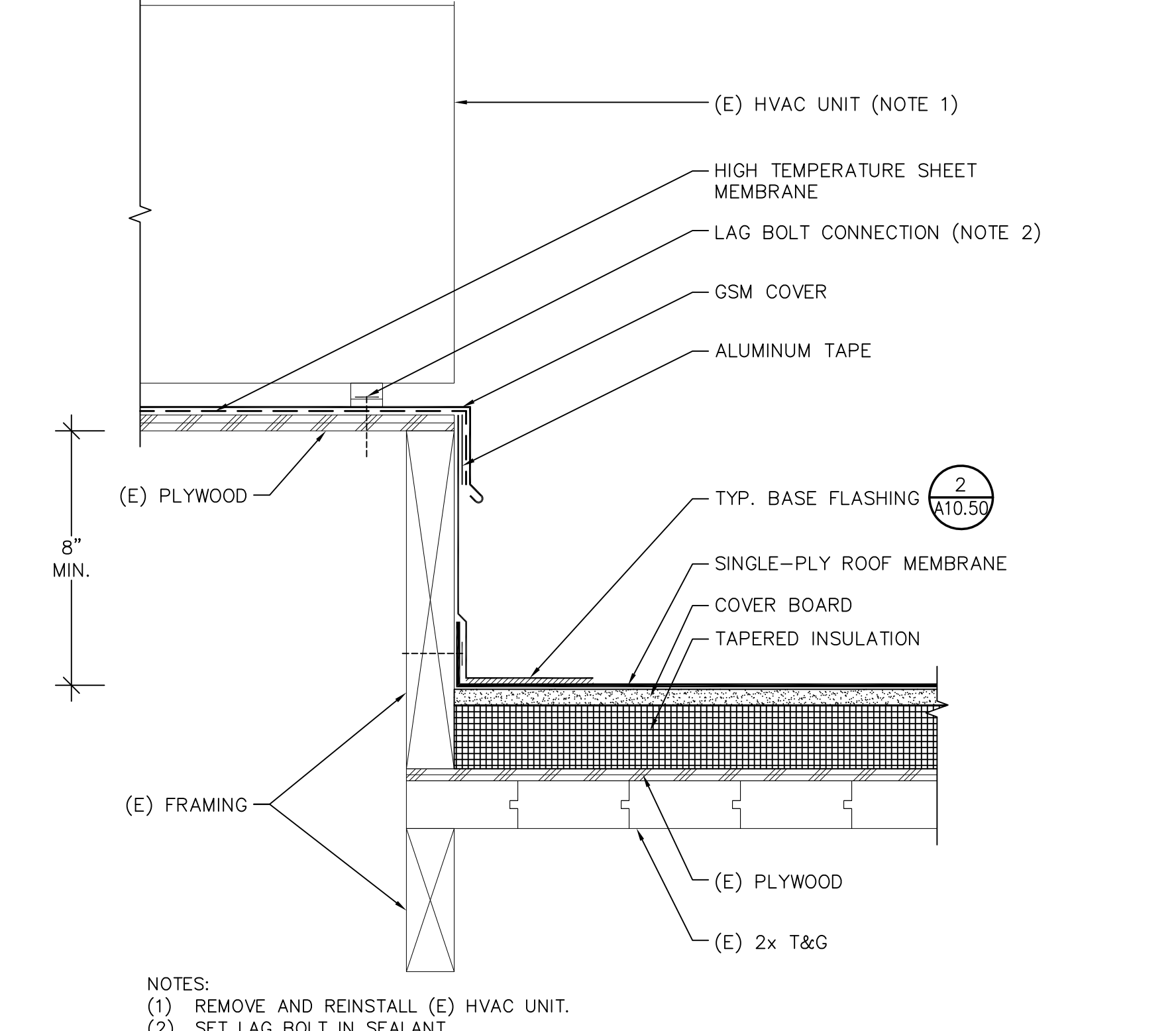
**11 PARAPET-TYPE II**  
 A10.51 SCALE: 3"=1'-0"



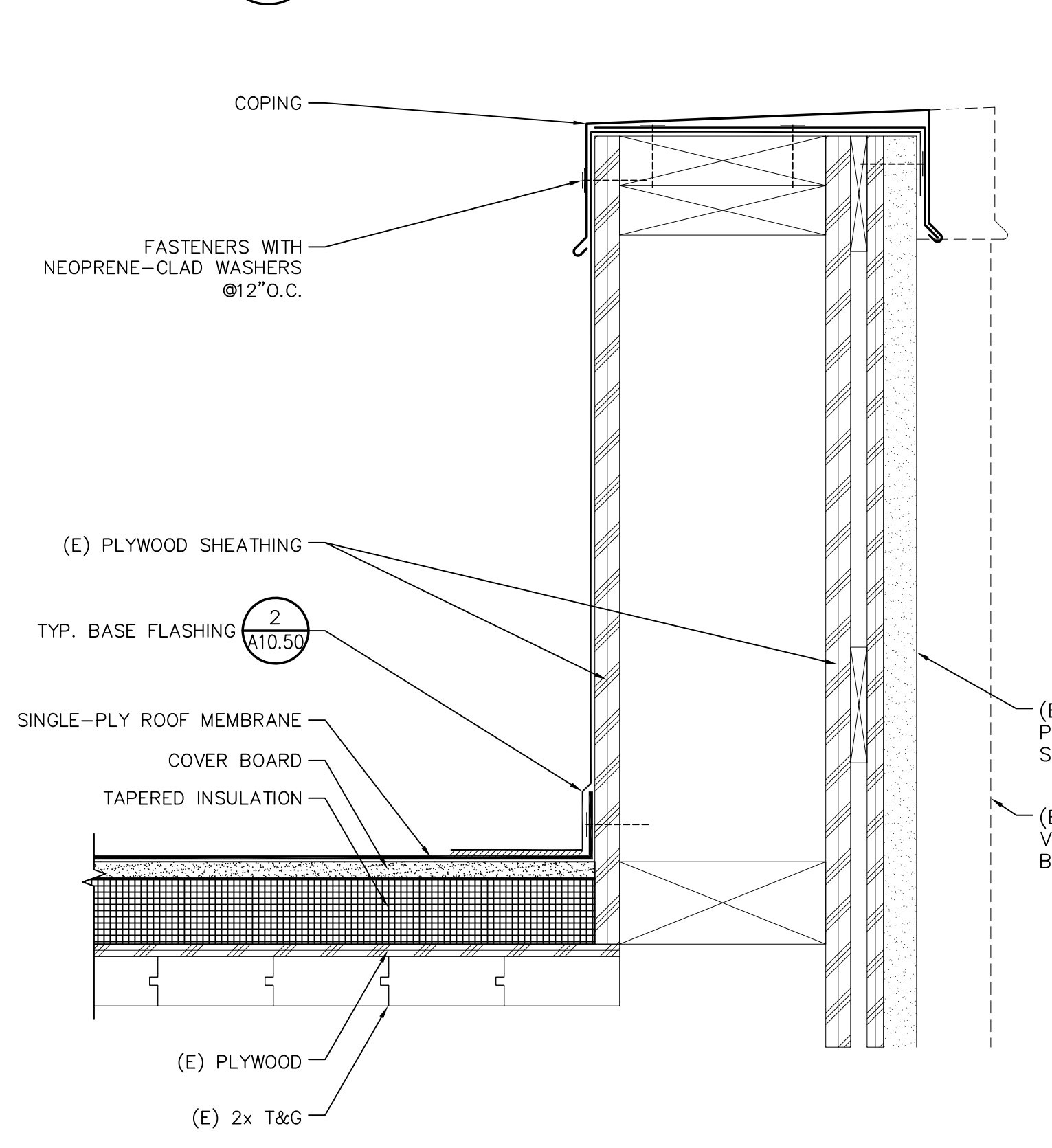
**8 LOUVER**  
 A10.51 SCALE: 3"=1'-0"



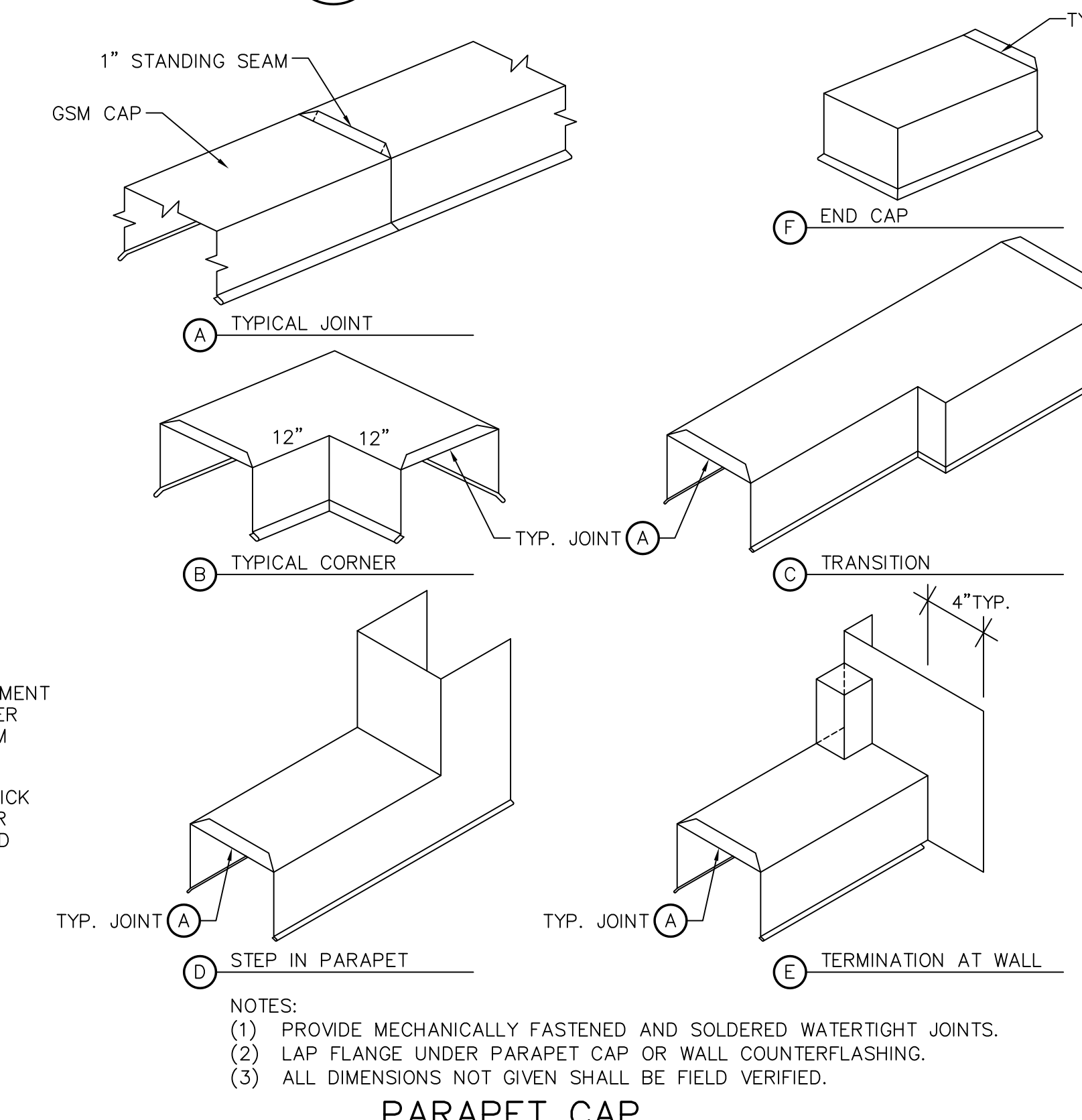
**5 CURB SUPPORT**  
 A10.51 SCALE: 3"=1'-0"



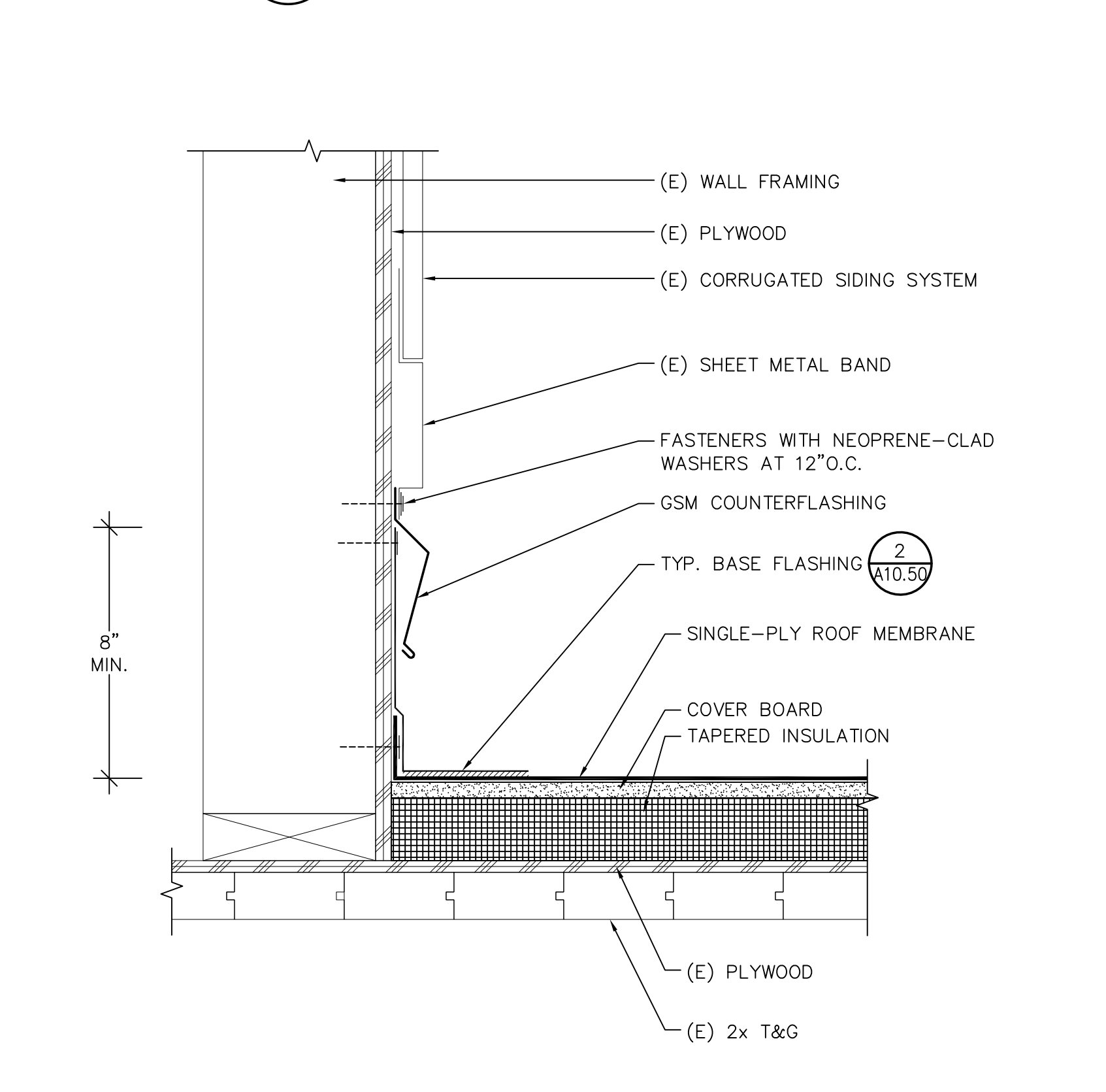
**2 AC UNIT**  
 A10.51 SCALE: NOT TO SCALE



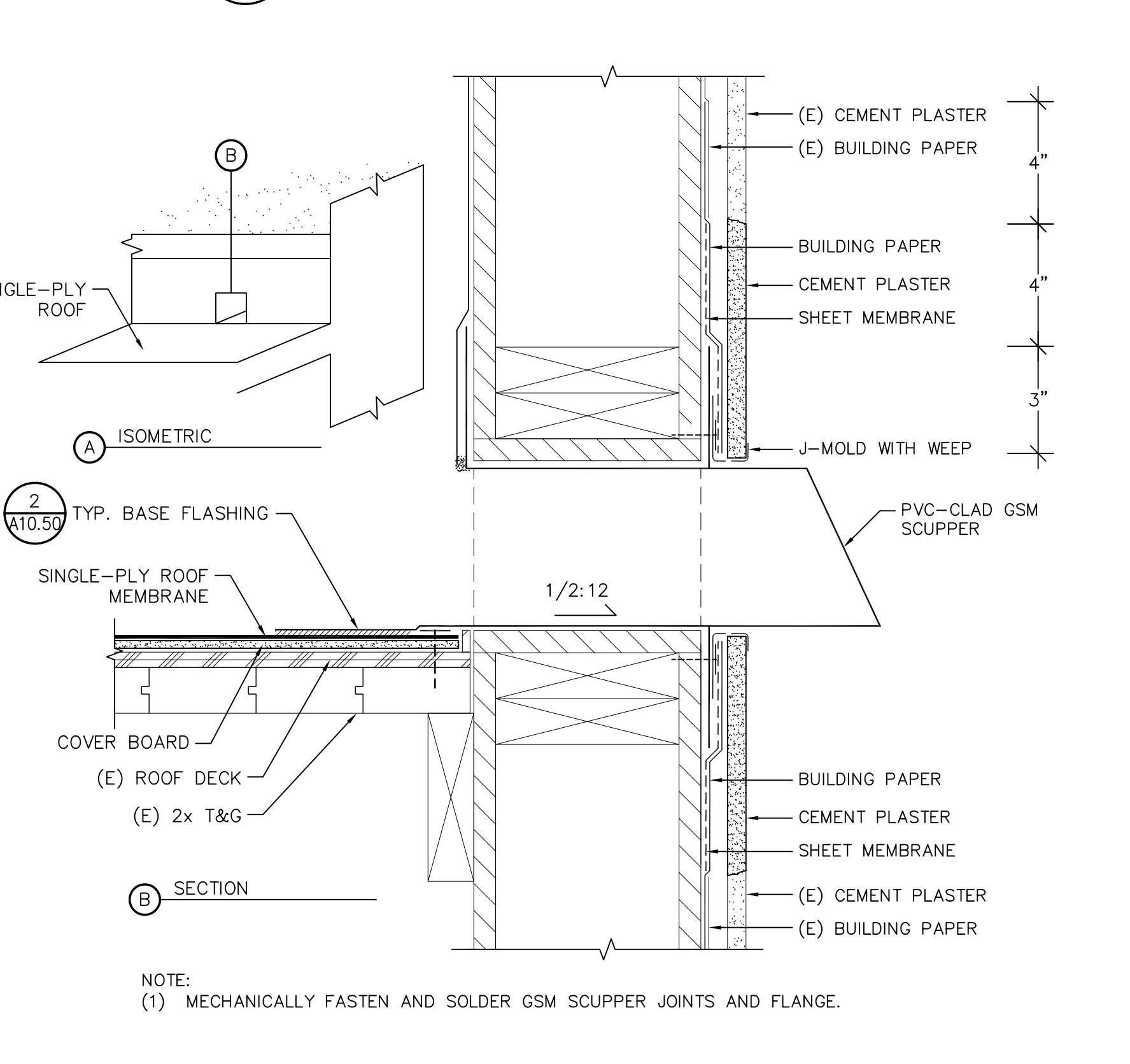
**12 PARAPET-TYPE III**  
 A10.51 SCALE: NOT TO SCALE



**9 PARAPET CAP TERMINATIONS & TRANSITIONS**  
 A10.51 SCALE: NOT TO SCALE



**6 ROOF/PENTHOUSE WALL**  
 A10.51 SCALE: 3"=1'-0"



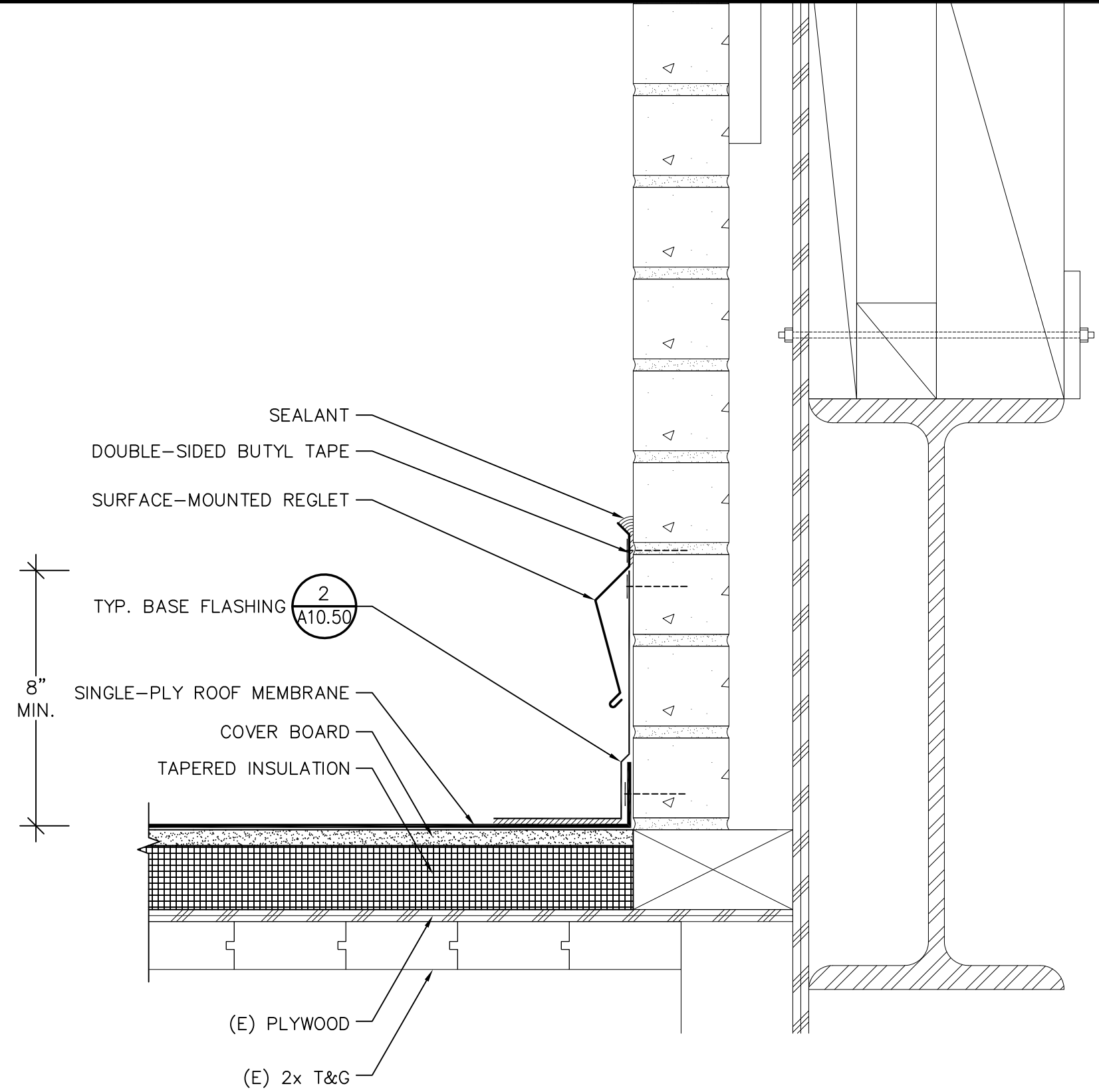
**3 ELEVATOR ROOF SCUPPER-TYPE I**  
 A10.51 SCALE: NOT TO SCALE

PROJECT  
**D-1150 ROOF REPLACEMENT LHS BUILDING**  
 DIABLO VALLEY COLLEGE  
 321 GOLF CLUB ROAD  
 PLEASANT HILL, CALIFORNIA

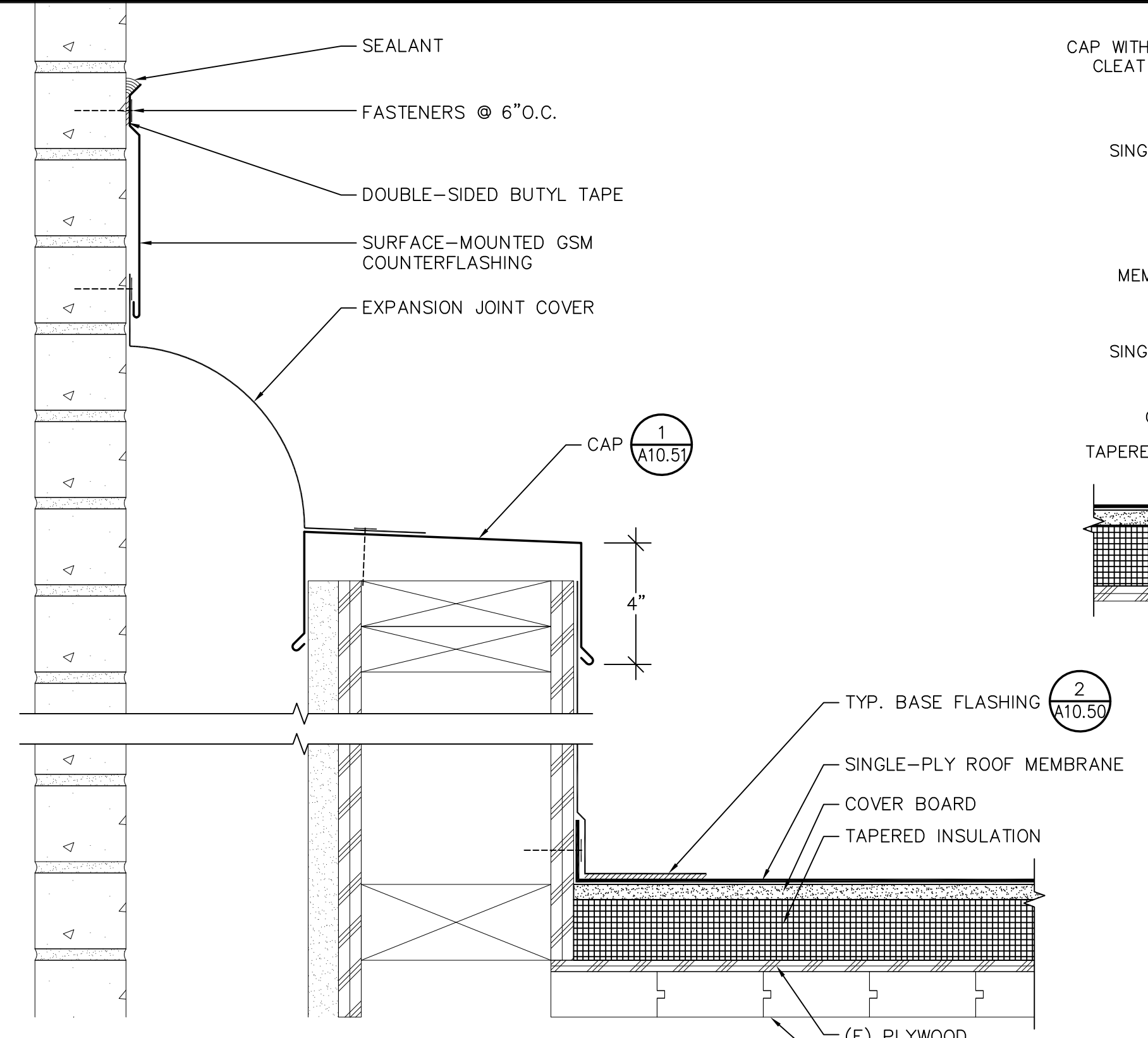
OWNER  
 CONTRA COSTA COMMUNITY COLLEGE DISTRICT  
 500 COURT STREET  
 MARTINEZ, CALIFORNIA

NO.	DATE	DESCRIPTION	BY
5/24/24	BID SET	EY	
PROJECT NO. 24007			
CADD FILE			
DESIGNED BY AEB			
DRAWN BY EY			
CHECKED BY AEB			
DATE 10 APR 2024			
DRAWING SCALE AS NOTED			
SHEET TITLE			
<b>SINGLE-PLY ROOF DETAILS</b>			
DRAWING NO.			
<b>A10.51</b>			
OF			

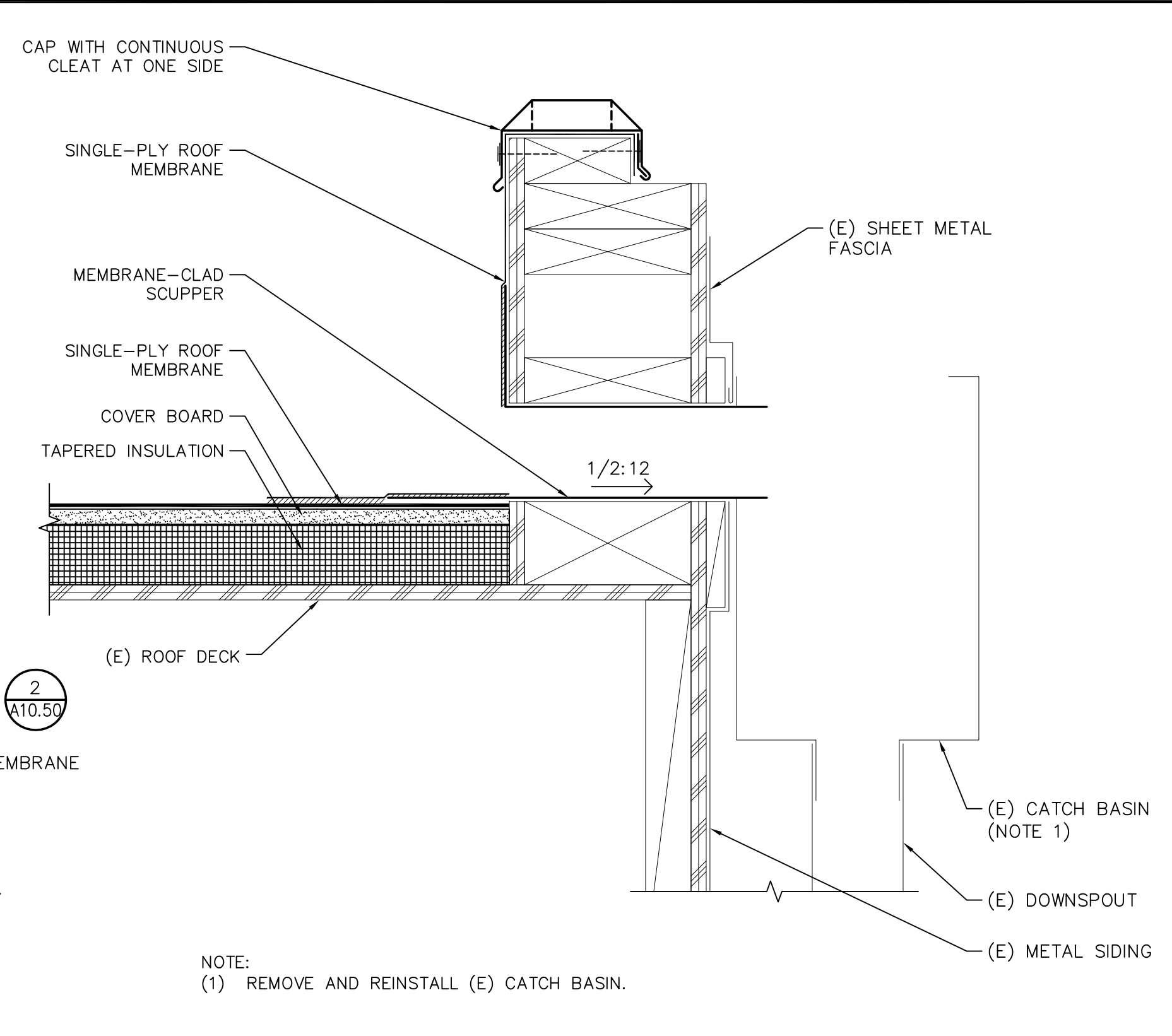
**BID SET - NOT FOR CONSTRUCTION**



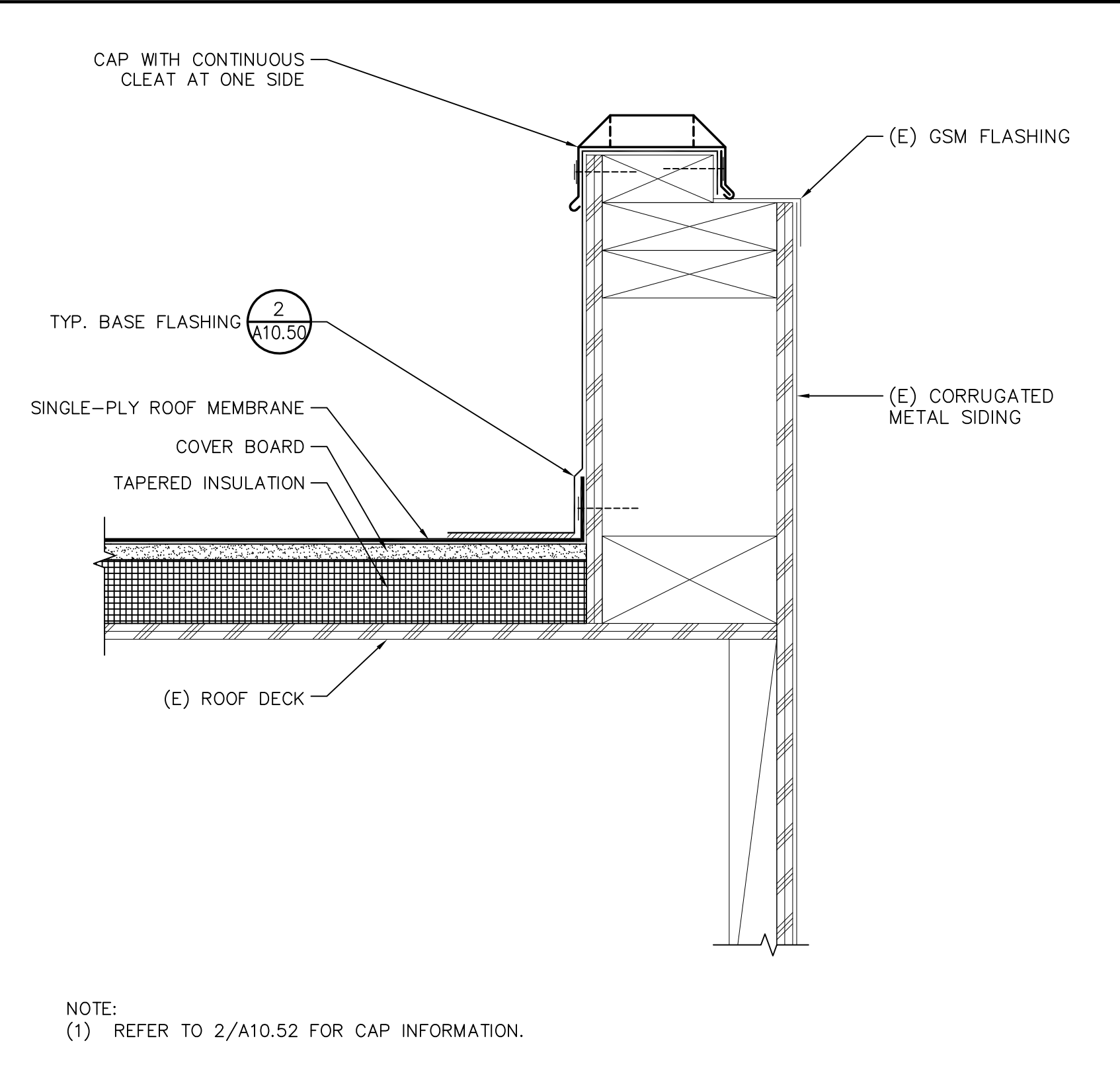
**10 L2-ROOF/WALL-TYPE I**  
 A10.52 SCALE: 3"=1'-0"



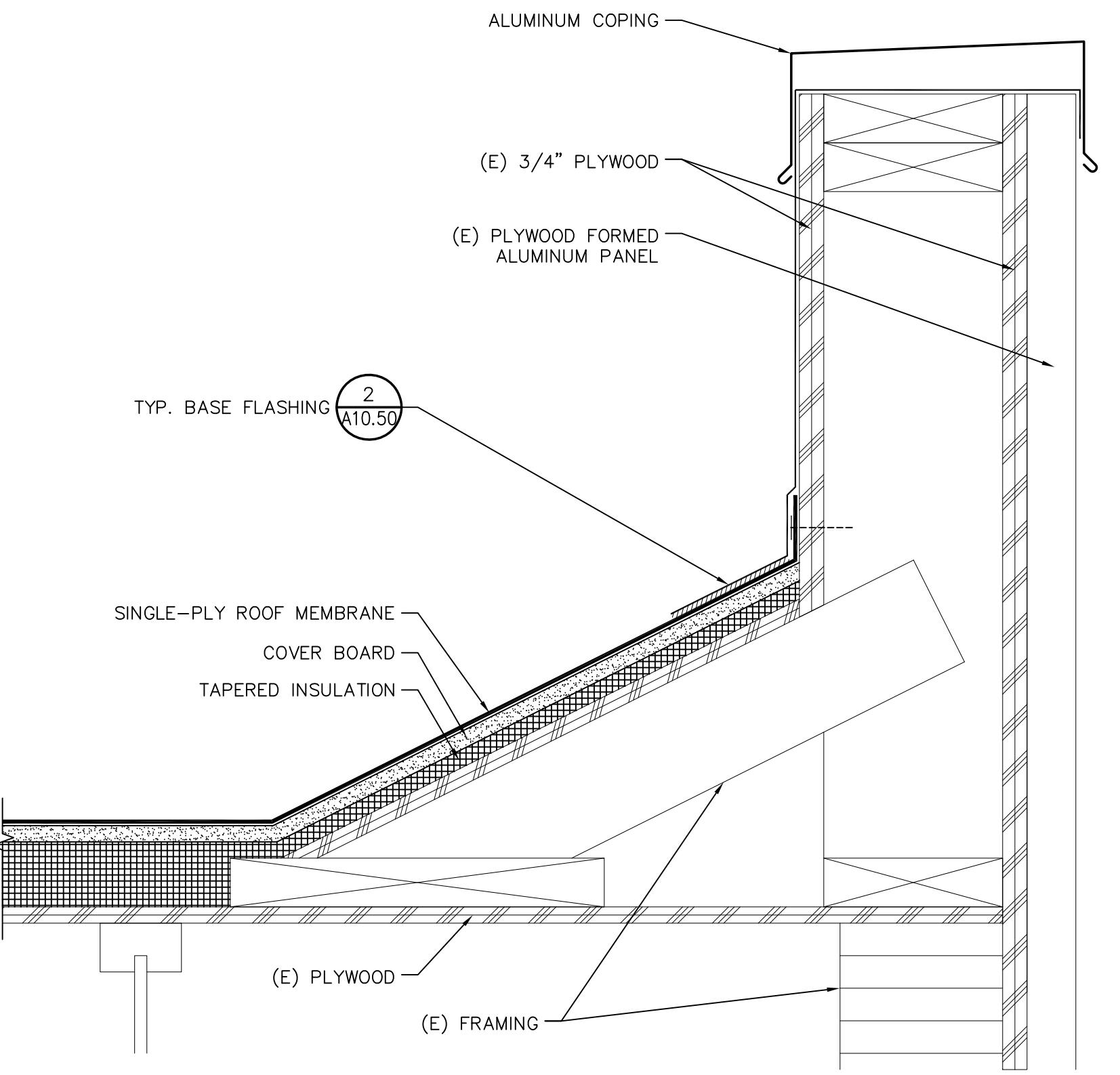
**7 EXPANSION JOINT**  
 A10.52 SCALE: NOT TO SCALE



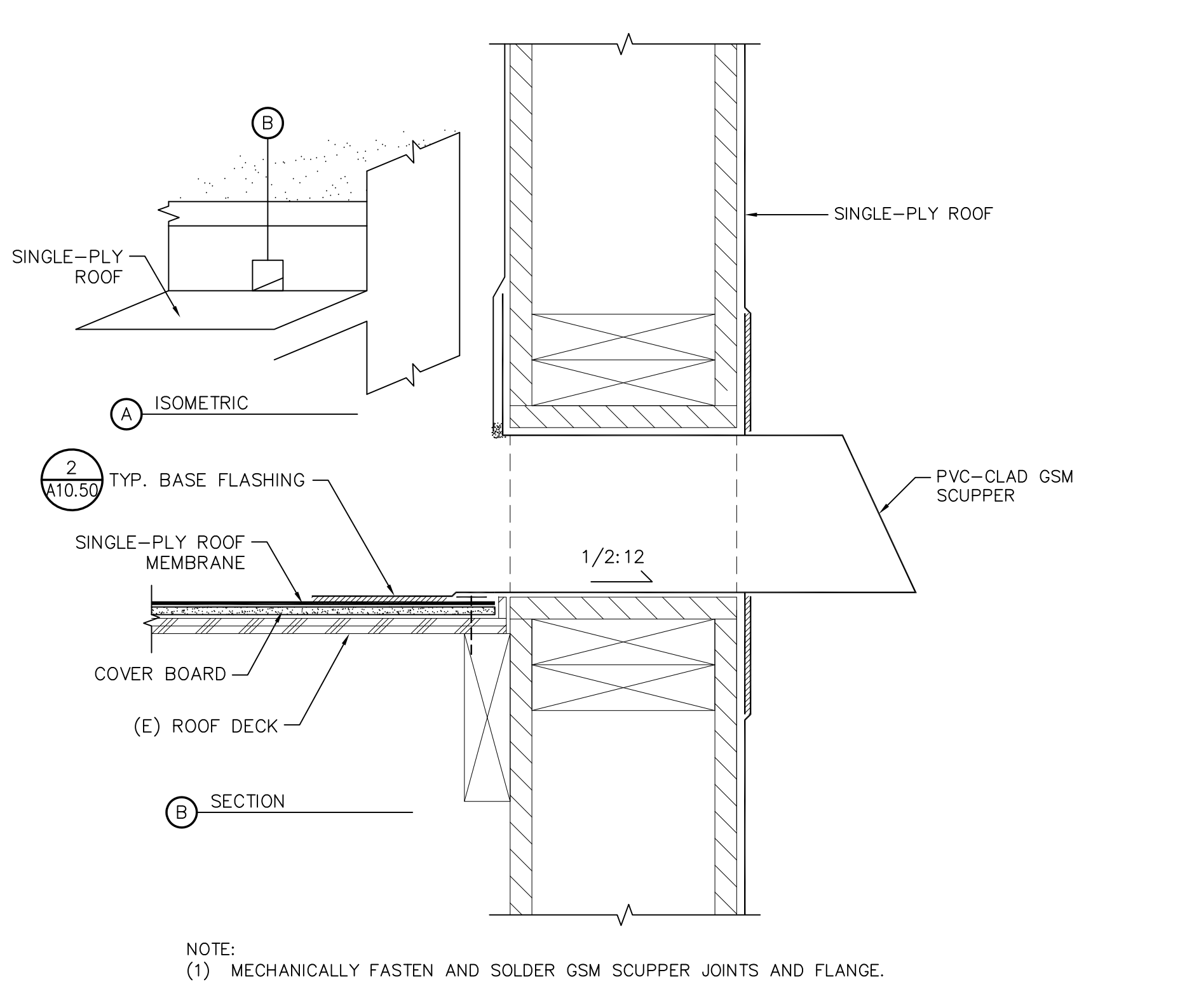
**4 PENTHOUSE SCUPPER**  
 A10.52 SCALE: 3"=1'-0"



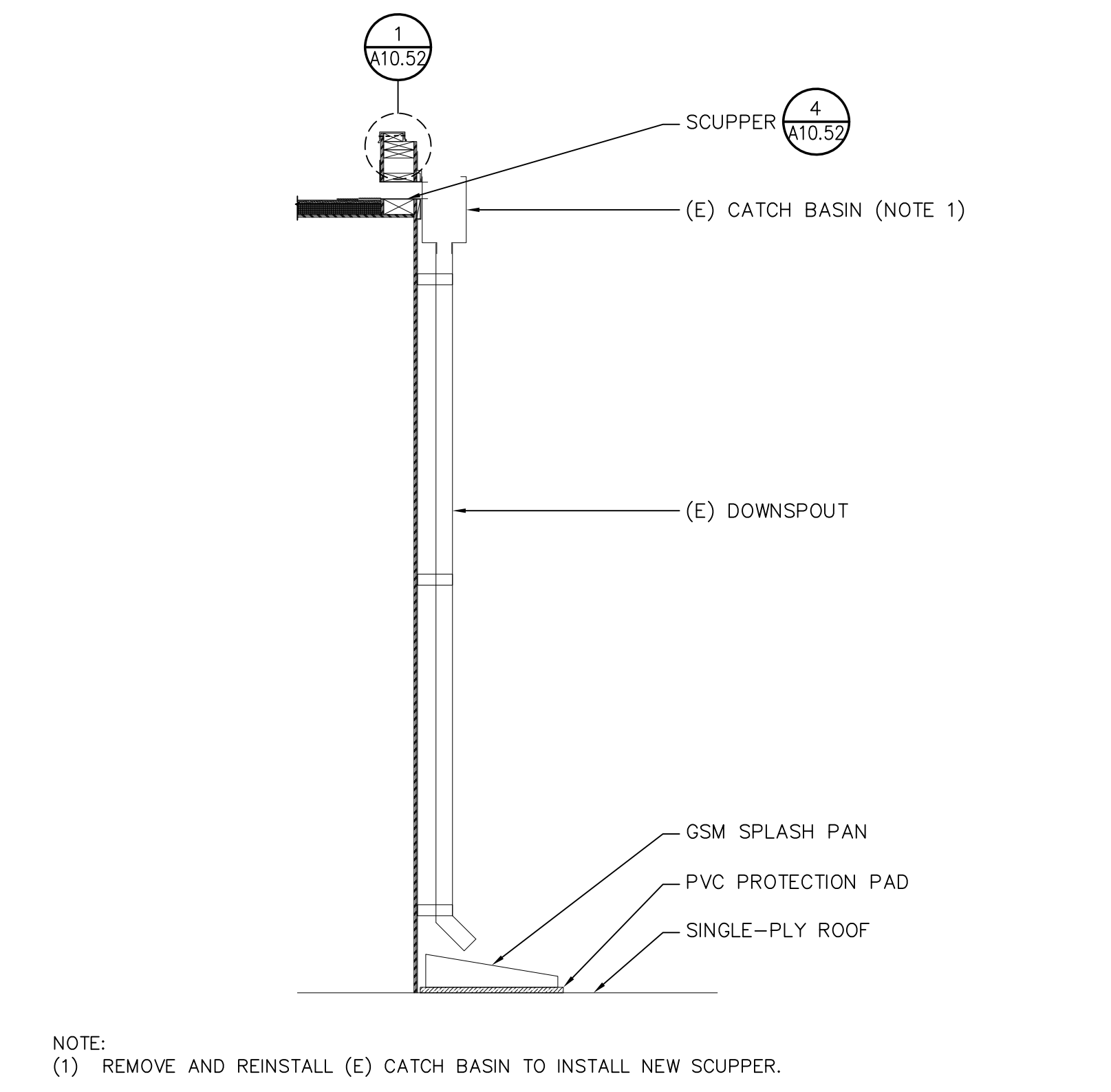
**1 PENTHOUSE ROOF EDGE**  
 A10.52 SCALE: 3"=1'-0"



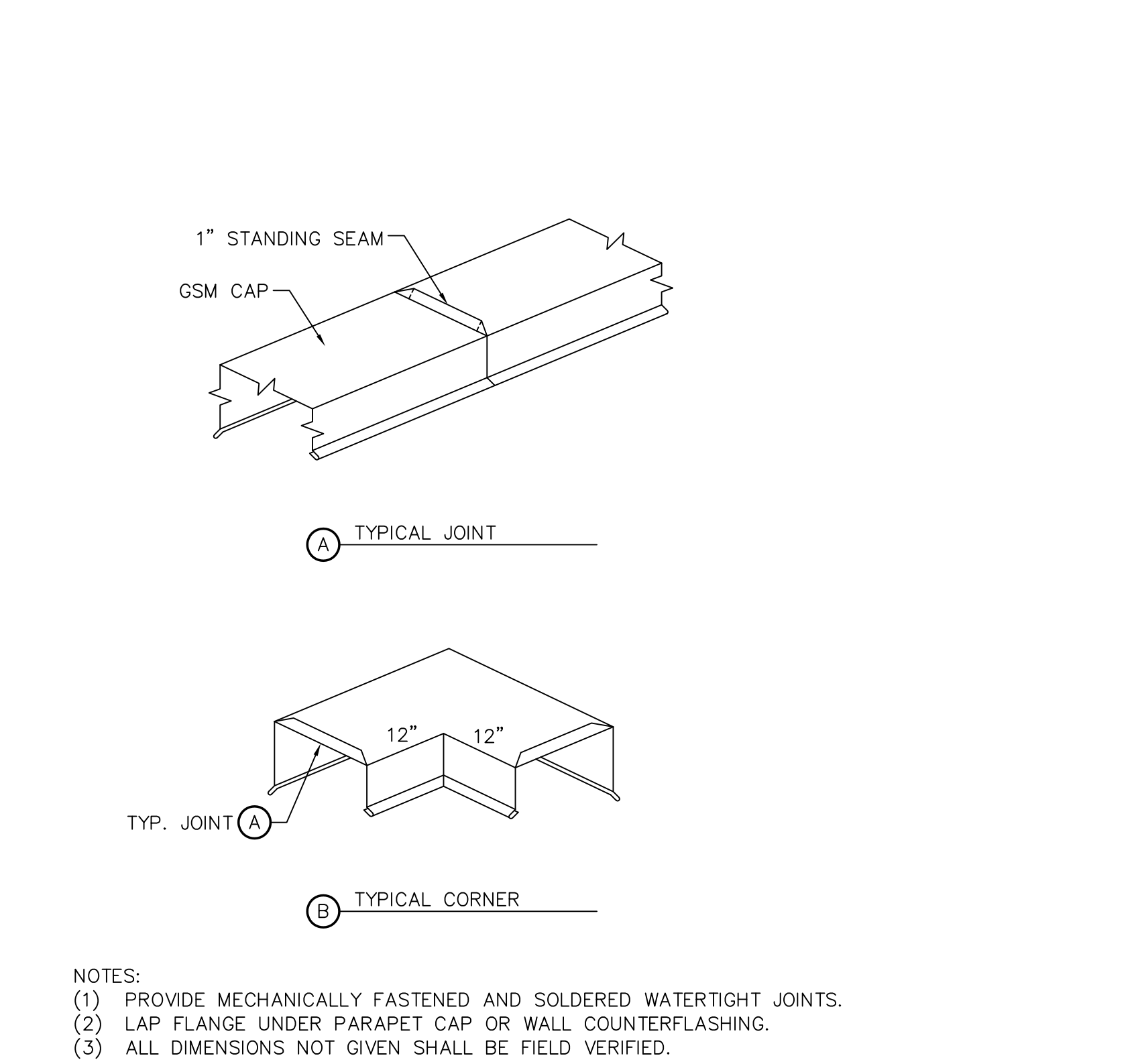
**11 L2-PERIMETER CURB**  
 A10.52 SCALE: 3"=1'-0"



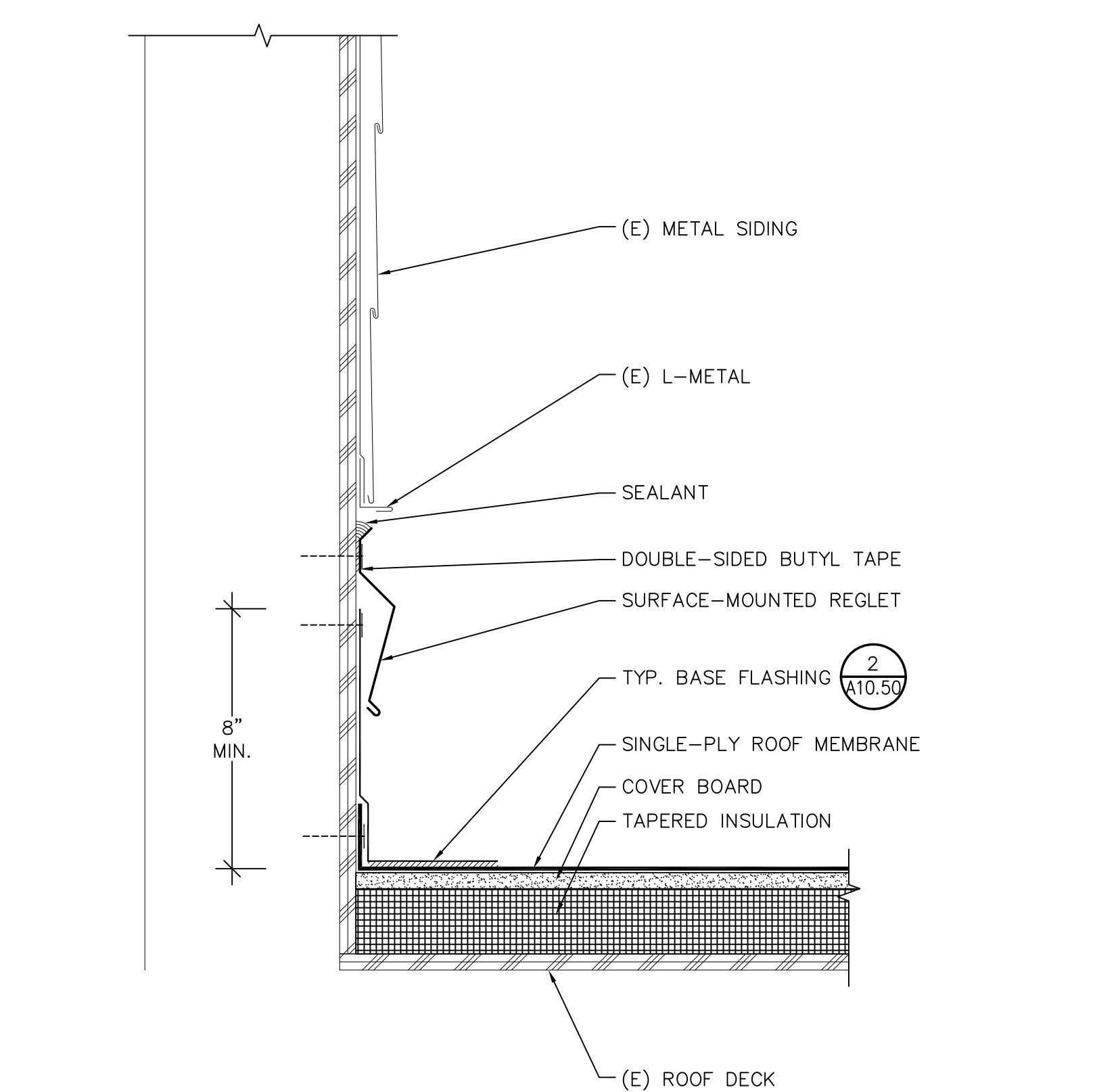
**8 ELEVATOR ROOF SCUPPER-TYPE II**  
 A10.52 SCALE: NOT TO SCALE



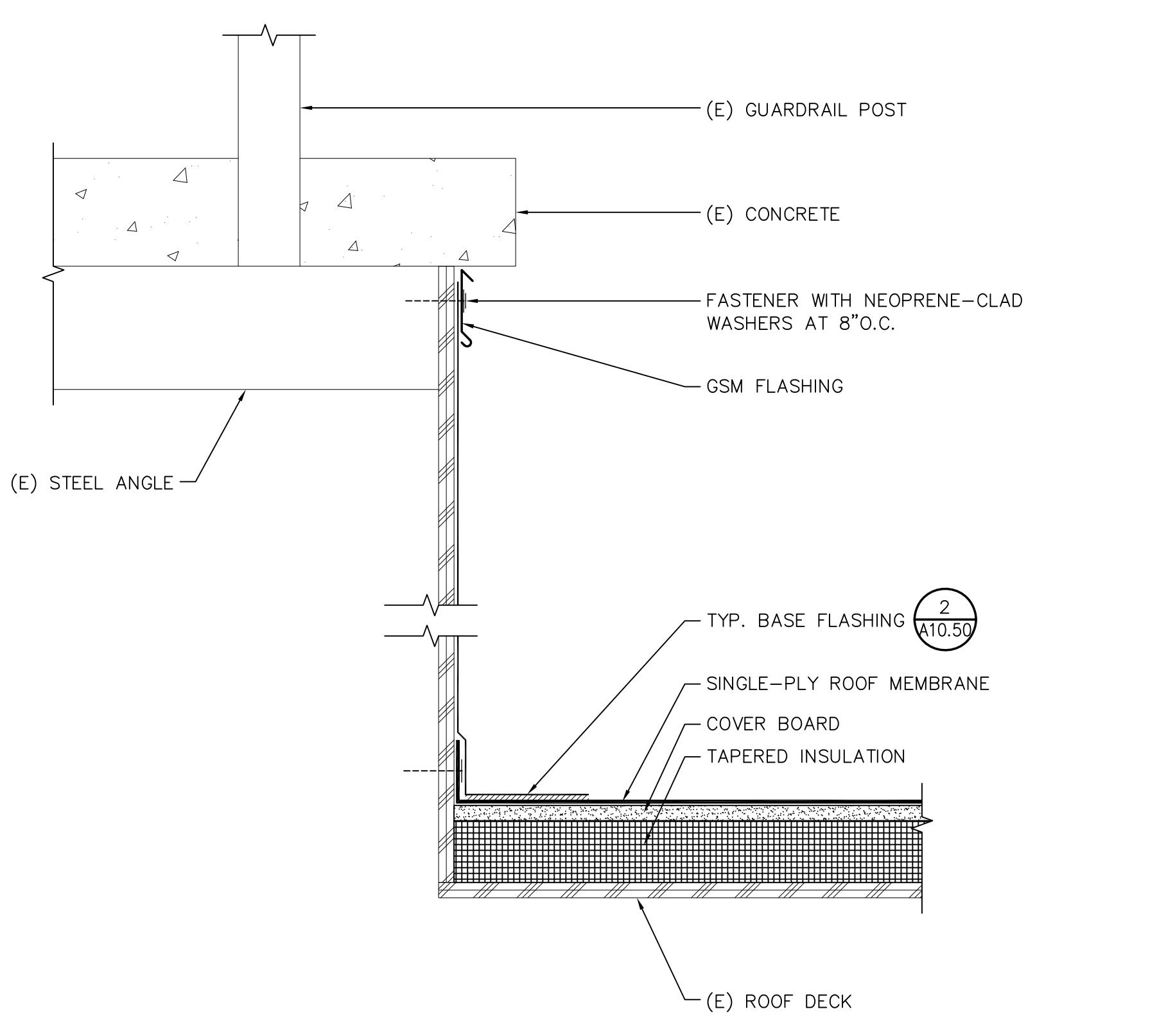
**5 DOWNSPOUT**  
 A10.52 SCALE: NOT TO SCALE



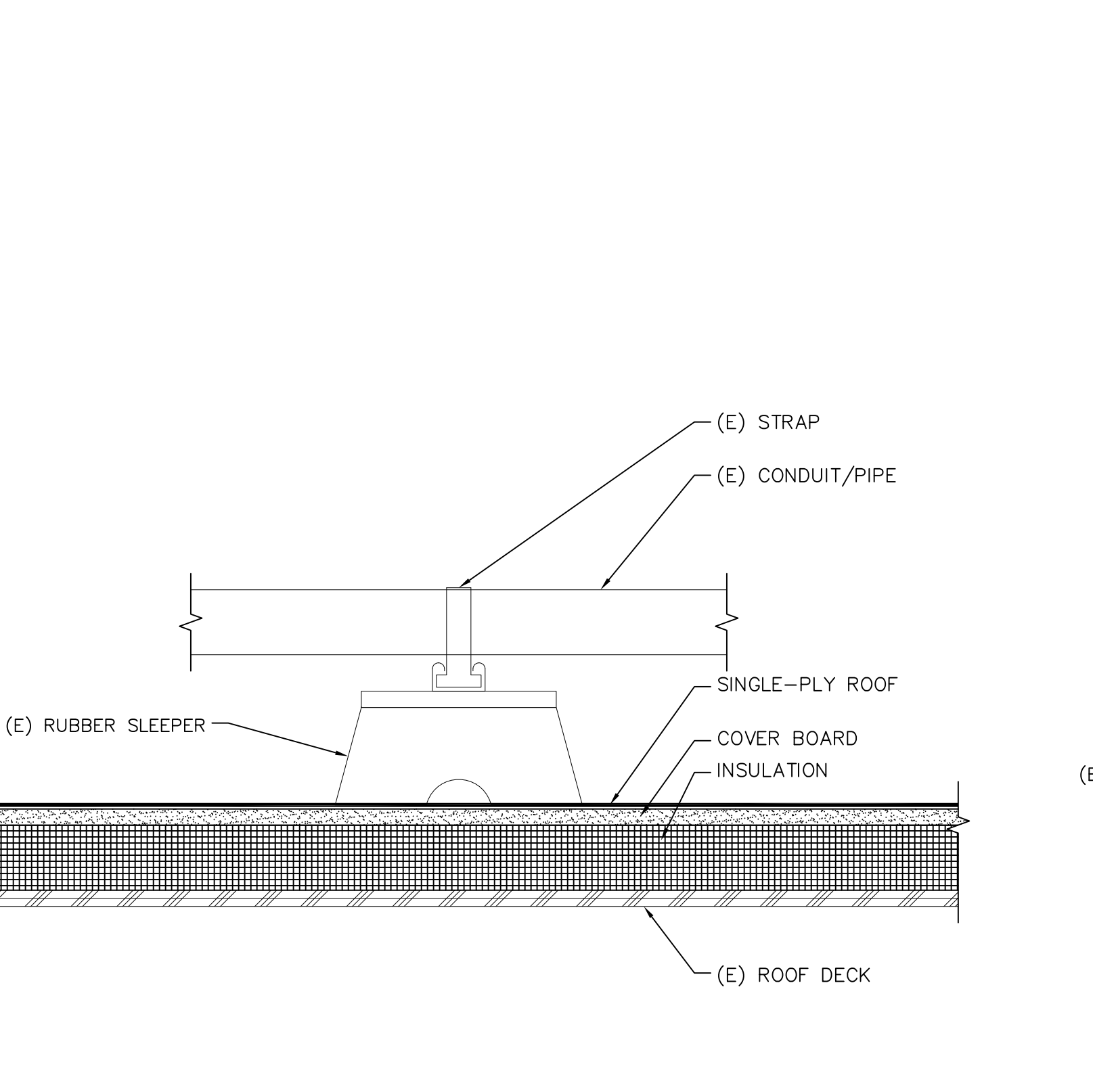
**2 PENTHOUSE CAP**  
 A10.52 SCALE: NOT TO SCALE



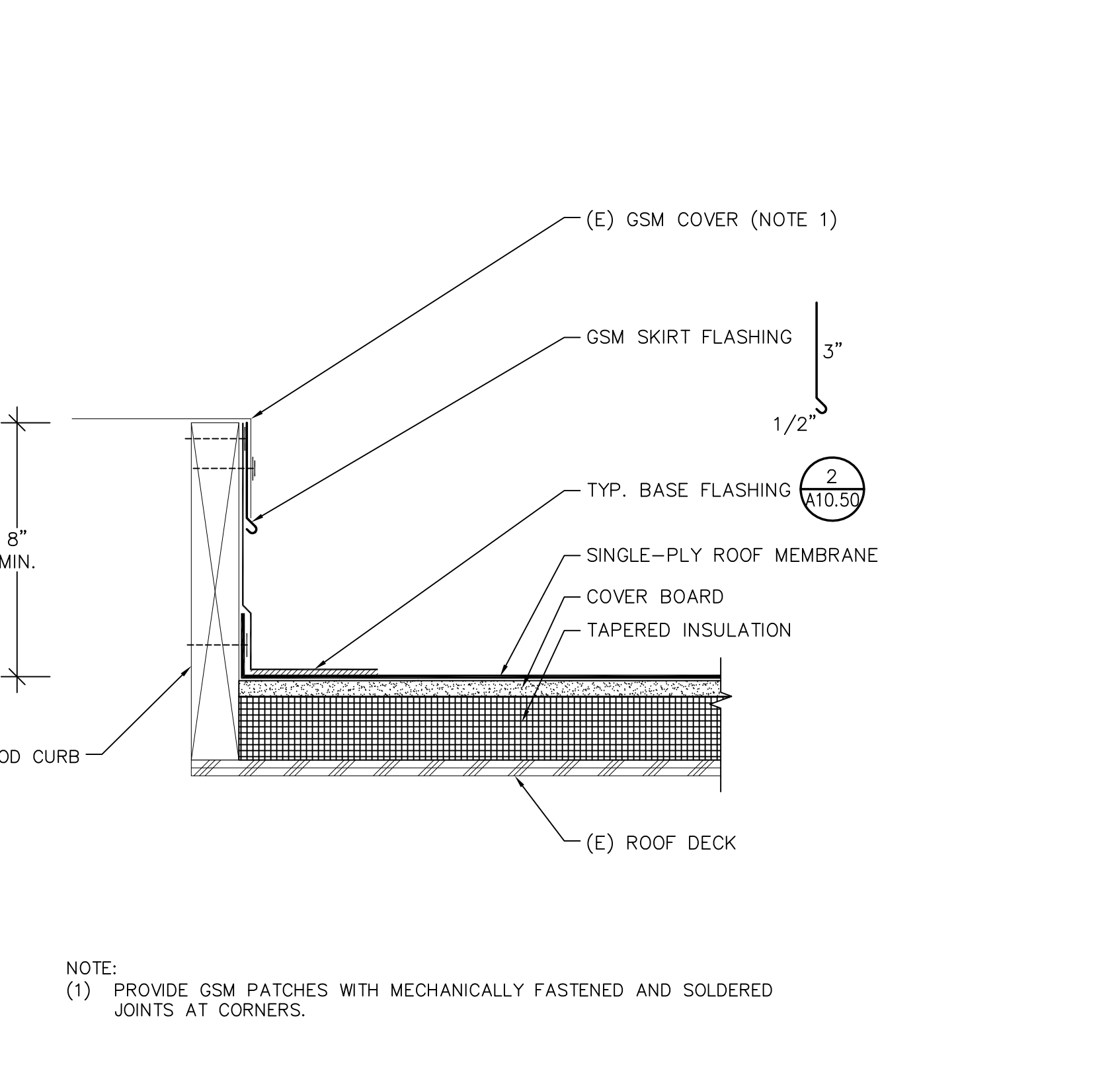
**12 L2-ROOF/WALL-TYPE II**  
 A10.52 SCALE: NOT TO SCALE



**9 L2-EDGE**  
 A10.52 SCALE: 3"=1'-0"



**6 SLEEPER**  
 A10.52 SCALE: NOT TO SCALE



**3 PENTHOUSE FLUE**  
 A10.52 SCALE: 3"=1'-0"

PROJECT  
**D-1150 ROOF REPLACEMENT LHS BUILDING**  
 DIABLO VALLEY COLLEGE  
 321 GOLF CLUB ROAD  
 PLEASANT HILL, CALIFORNIA

OWNER  
 CONTRA COSTA COMMUNITY COLLEGE DISTRICT  
 500 COURT STREET  
 MARTINEZ, CALIFORNIA

NO.	DATE	DESCRIPTION	BY
5/24/24	BID SET	EY	
PROJECT NO.	24007		
CADD FILE			
DESIGNED BY	AEB		
DRAWN BY	EY		
CHECKED BY	AEB		
DATE	10 APR 2024		
DRAWING SCALE	AS NOTED		

SHEET TITLE  
**SINGLE-PLY ROOF DETAILS**

DRAWING NO.  
**A10.52**

OF

**BID SET - NOT FOR CONSTRUCTION**

