



CONTRA COSTA COMMUNITY COLLEGE DISTRICT
500 Court St, Martinez, CA 94553

PRE-BID MEETING & JOB WALK AGENDA (MANDATORY)
March 11, 2019 at 09:00 AM
D-4012 Physical Education & Kinesiology Complex
and D-4014 New Art Complex

BID DATE – April 15, 2020 prior to 2 PM

1. Introduction of Project Team Members:

District: PJ Roach – Facilities Project Manager (4CD)
Ben Cayabyab – Contracts Manager (4CD)
Ines Zildzic – Vice Chancellor, Facilities Planning and Construction (4CD)
Brian Jemo – Project Director (Kitchell)
Mike Owens – Sr. Project Manager (Kitchell)

DVC Campus: Todd Hampton – Vice President, Business and Administrative Services
Jim Buchanan – Director of Maintenance and Operations

Architect: Marko Blagojevic – Managing Principal (HMC)
Judy Krall – Sr. Project Manager / Associate (HMC)
John (Gus) Gramling – Sr. Project Architect / Associate (HMC)

Haz-Mat Consultant: Steffen Steiner – Terracon
Will Frieszell - Terracon

OCIP Administrator: OCIP Administrator – Keenan & Associates

2. Communication During Bidding and Contract Award Phase

- All questions, clarifications, and requests for information (RFI) shall be directed to Ben Cayabyab (District Office) in writing via email messages at: bcyabyab@4cd.edu and Mike Owens at: mowens@kitchell.com
- Do not contact Architect or other design consultants directly.
- All responses to all RFIs shall be included in the Addendum to be issued by the District;
- Last date to submit RFI's is April 3, 2020.
- Site is available for an additional site walk:
Friday, March 27, 2019 – 09:00 AM. Gym and Existing Locker Rooms will be available.

Additional site walk is non-mandatory. Buildings are currently occupied. Contractor is not to disturb occupants or enter locker rooms, except at designated dates and times.

3. Project Scope and Description / Phasing:

A. PE/Kinesiology Complex:

The DVC PE/Kinesiology Complex consists of three new buildings, demolition of the Men's and Women's Locker Rooms, the renovation of the existing swimming pool, and the renovation of the existing Gym, plus related site work.

- A. Building A – New single story, 17,250 SF steel framed fieldhouse building. Building A houses six athletic team locker rooms and wet core, an athletic equipment room, athletic training room, three classrooms, athletics hall of fame display, and stadium restrooms.
- B. Building B – New single story, 5,100 SF steel framed faculty office building. Building B contains 14 full time faculty offices, a conference room, faculty locker rooms and wet core, adjunct faculty offices, and a division support office.
- C. Building C – New single story, 7,500 SF steel framed aquatics and classroom building. Building C contains aquatics program offices and meeting rooms, aquatics team rooms, general PE locker rooms, wet core, and two general classrooms.
- D. Gym – Renovation of the existing 17,000 SF gymnasium. Work includes a new wood gym floor, new bleachers, new HVAC system, relocate divider curtain, relocate drinking fountains, and paint and related finishes. Include required Abatement.
- E. Pool – Renovate existing 9-lane, 50m competition swimming pool. Scope includes all new main drains and related piping, new pumps, refurbish filters, new pool lights, new pool deck and surface drainage, re-plaster pool surface, and related pool accessories such as racing platforms, ladders, and ADA upgrades. Include required Abatement.
- F. All buildings will be integrated into an adjacent heating and cooling water plant shared with the new Art Complex and built concurrently. The heating and cooling plant is part of the Art Complex project construction documents.

G. Demolition of the Men’s and Women’s Locker Rooms. Include required Abatement.

H. Phasing for PEK Complex:

- i. Phase 0 – The District is in the process of installing utility infrastructure to support both projects. Swing space has already been installed. Two buildings (PE Faculty Office and Concessions/Restroom) are already under contract to be demolished ahead of phase 1 by the District.
- ii. Phase 1 - Construct Buildings A and B by PEK Contractor. (Relocate occupants from existing Men’s Locker, Women’s Locker, Training portable, and faculty swing space into buildings, by the District). Include exterior painting of the Gym during this Phase.
- iii. Phase 2 – Demolish existing Women’s Locker Room building and constructed Aquatics Building, Renovate pool, and Renovate gym by PEK Contractor. (Relocate occupants into Aquatics Building, by the District).
- iv. Phase 3 – Demolish Men’s Locker Room building and complete remaining site work by PEK Contractor.

B. Arts Complex:

A. Scope of work: The new Art Building is two story, steel framed 45,600 SF building. It includes drawing and painting studios, classrooms, art gallery, printmaking shop, wet photography lab, faculty offices, sculpture studios, ceramics workshops, media labs, outdoor display and public reception spaces, support and storage, restrooms, and campus art display spaces. Project will include landscape, site improvements and parking within the project boundary areas around the building and integration with adjacent landscaping, walkways, street lighting, parking and fire access road.

B. A heating and cooling plant that serves both the PE Complex and Art Complex is part of the Art Complex construction documents. This work must be completed prior to the PEK Project Phase 1 work noted above.

C. Project Stabilization Agreement for Project, see Specs 00600.

4. Contractor Job Site Coordination:

A. Access & Parking

- Parking is located within the perimeter of the Contractor's allotted Laydown and Parking area.

B. Storage

- Contractor responsible for security of their stored materials, equipment, tools, etc.

C. Work restrictions

- Normal Work Hours 7 AM to 5 PM, Monday through Friday.
- Contractor shall coordinate deliveries during hours the site is the least occupied.
- Contractor shall provide traffic control and ensure safety of nearby pedestrians.
- Shutdown of utilities – Contractor to provide proper and timely notifications of shutdown. Any facilities/equipment affected by the shutdown must be reactivated.
- The Pool and Gym will remain open during Phase 1 of the PEK Project – which means power to the gym and mechanical pool room must remain powered up.

D. Temporary utilities/services

- Contractor shall provide and maintain temporary sanitary facilities for use of all workers.

E. Inspections & Testing

- The Project will have an Inspector of Record and special inspectors, as required.

F. Site clean up

- Contractor is responsible for keeping the site clean and safe during and after hours. If not maintained the District will complete and back charge the Contractor.

5. Plans & Specifications:

- Available at <http://www.4cd.edu/webapps/purchasingviewbids/default.aspx>
- Contractor is responsible for checking website for new postings.
- See Invitation to Bid for additional information.
- Upcoming Addenda
 - a. New Art Complex DSA Comments.
 - b. Controls Specifications.

6. Bid Package:

- Bid Form
- Bid Security 10% of Bid (Bid Bond / Cashier's Check)
- Acknowledgement of Addenda in Bid Proposal Form
- Non-Collusion Affidavit
- Authorized signature of Bid – Bid amount will remain valid for 90 days following acceptance.
- See Contract Documents for additional requirements and/or contact District Purchasing Contracts Manager, Ben Cayabyab

7. Bonds:

- Payment Bond is 100% of Contract amount
- Performance Bond is 100% of Contract Amount
- See Contract Documents for additional requirements

8. Project schedule

- Bids due – April 15, 2020 prior to 2 PM
- Board Approval – April 22, 2020
- Award of the contract - April 23, 2020
- NTP – May 6, 2020
- Start Construction – June 1, 2020
- Substantial Completion Time: 908 Calendar Days (See Phasing below) from the Notice to Proceed date of May 6, 2020. Construction Starts June 1, 2020.
D-4012 Physical Education & Kinesiology Complex (908 Total CD's):
 1. NTP Phase – Prepare Documentation, Submittals, Insurance, Meetings, etc. – Start May 6, 2020 – Complete May 31, 2020. (25 Total CD's)
 2. Phase 1 Construct Buildings A&B – Start June 1, 2020 – Complete June 5, 2021. (370 Total CD's)
 - a. Include Exterior Painting of Gym in Phase 1.
 - b. Open for Fall 2021.
 3. Phase 2 Demolition Women's Locker Room, Construct Building C, Renovate Pool and Gym – Start June 15, 2021 - Complete July 31, 2022. (412 Total CD's)
 - a. Open for Fall 2022.
 - b. Note, a nine day lag for the District to relocate staff, furniture, and equipment from end of Phase 1 to the start of Phase 2. Some work can be coordinated during this period with the move. (9 Total CD's)
 - c. Include Exterior Painting of patched, damaged, and infill areas of Gym.
 4. Phase 3 Demolition Men's Locker Room, Site work – Start August 1, 2022 – October 31, 2022. (92 Total CD's)

D-4014 New Arts Complex (543 Total CD's – Concurrent with PEK Complex Work):

1. NTP Phase – Prepare Documentation, Submittals, Insurance, Meetings, etc. – Start May 6, 2020 – Complete May 31, 2020. (25 Total CD's)
 2. Phase 1 CUP Plant Start June 1, 2020 – Complete May 15, 2021. (349 Total CD's)
 - a. The CUP Project is essential to the completion of the Phase 1 PEK Work. Coordinate all equipment installation, testing and commissioning with the PEK Phase 1 completion date.
 3. Phase 2 Construct New Arts Complex – Start June 1, 2020 – Complete October 31, 2021. (518 Total CD's).
 - a. Open for Spring 2022.
- Final Completion 60 Calendar Days from Substantial Completion.

9. Site Logistics

- See Division 1 Specs.
- See Site Phasing Plans, Section 01140.

10. Hazardous Material Abatement (Terracon)

- Pre-Renovation Hazardous Materials Survey Report for D-4012 Physical Education & Kinesiology Complex, Contra Costa College District, by Terracon Consultants, Inc., dated July 23, 2018.

11. OCIP (Keenan)

- See Section 00700, OCIP Manual.

12. See Other Reference Documents:

- See website for As-Builts, Geotech Reports, DVC Topo.

13. Labor Reporting

- Attention is directed to Labor Code Section 1725.5 regarding Department of Industrial Relations (DIR) contractor registration process including registration criteria and implementation of DIR registration requirements.

14. Field Walk (Following the meeting)

DVC ART & PEK Projects Site Restrictions

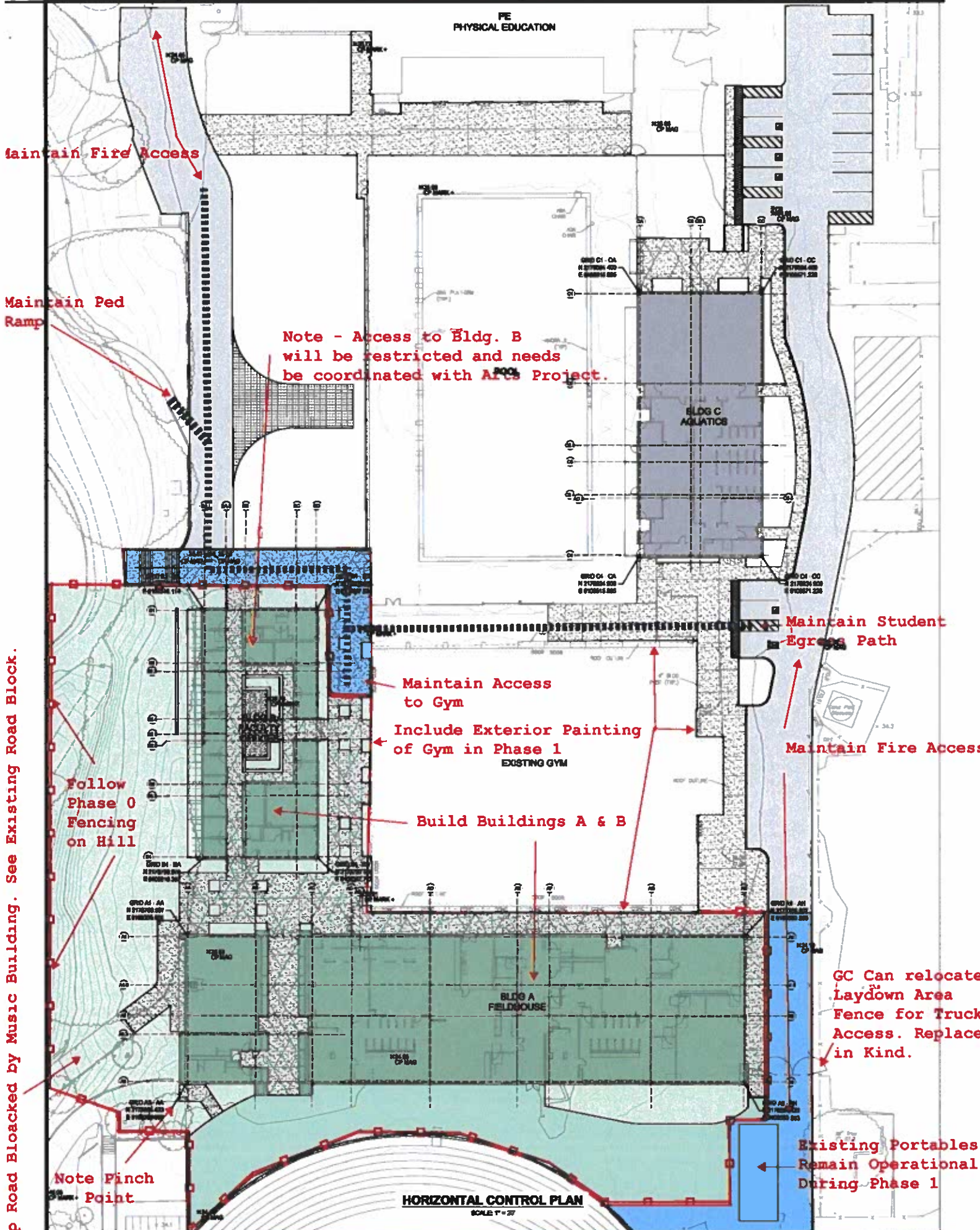
Notes:

1. Fire Access Lanes must be kept Open at all times. See G1.2 (Arts) for Plan.
2. Student Egress Paths must be maintained. See Phasing Plans.
3. Work required outside Temporary Fence Areas, must be coordinated with the District.
4. Include Single Wide Trailer with HVAC for IOR(s) & District. See Spec Section 01500.
5. Reference Spec Sections 01140 and 01500 for other Restrictions and Requirements, for Traffic Controls, Signage, and Temporary Controls.

Contractor Enter off of Golf Club Road
at DVC Lot 9. No Parking in Staff
or Student Lots.



GC Lay Down & Parking
Coordinate fence location
with sprinkler heads.



Keep Road Blocked by Music Building. See Existing Road Block.

Maintain Fire Access

Maintain Ped Ramp

Note - Access to Bldg. B will be restricted and needs be coordinated with Arts Project.

Maintain Student Egress Path

Maintain Access to Gym
Include Exterior Painting of Gym in Phase 1
EXISTING GYM

Maintain Fire Access

Follow Phase 0 Fencing on Hill

Build Buildings A & B

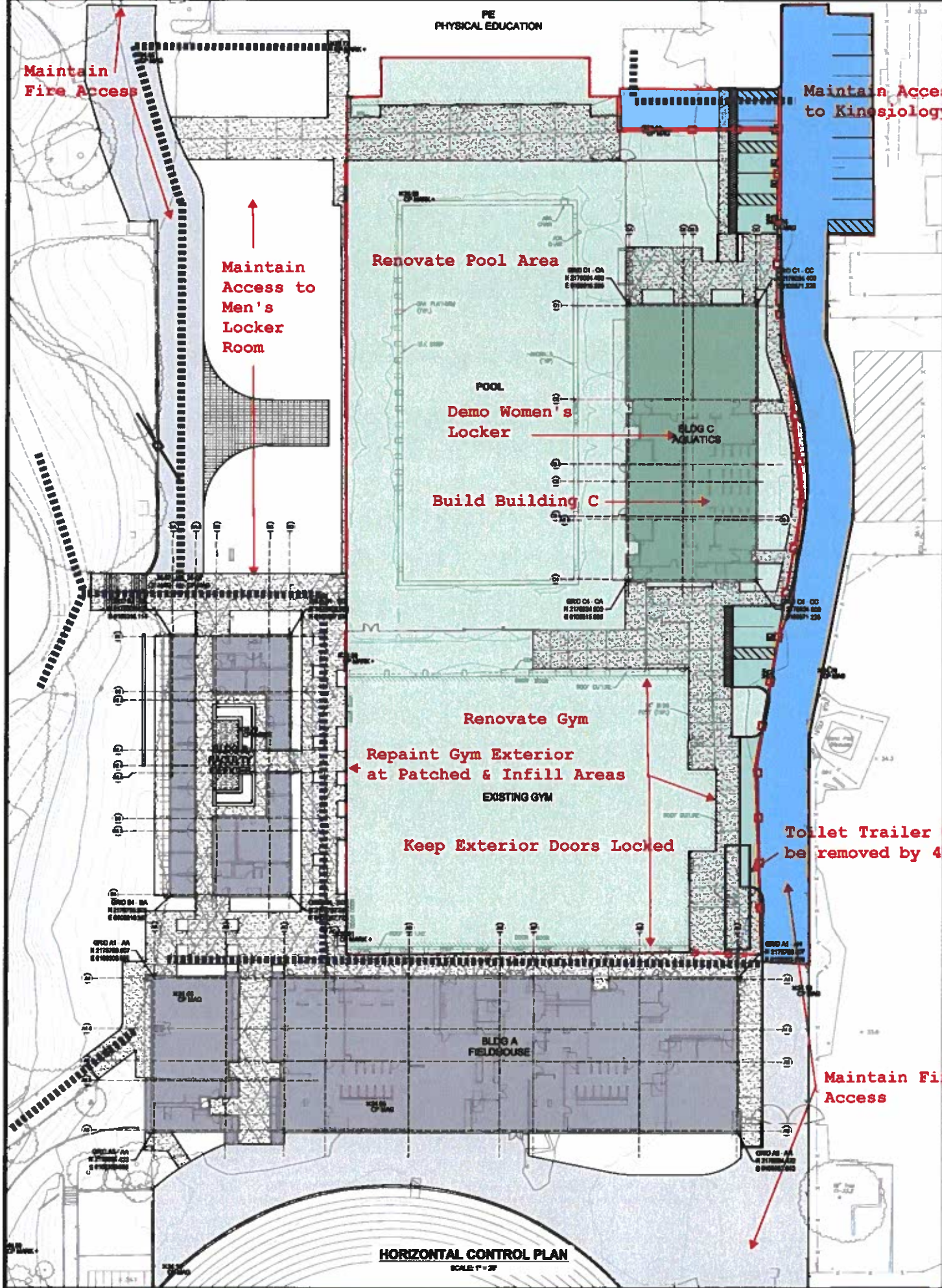
GC Can relocate Laydown Area Fence for Truck Access. Replace in Kind.

Note Pinch Point

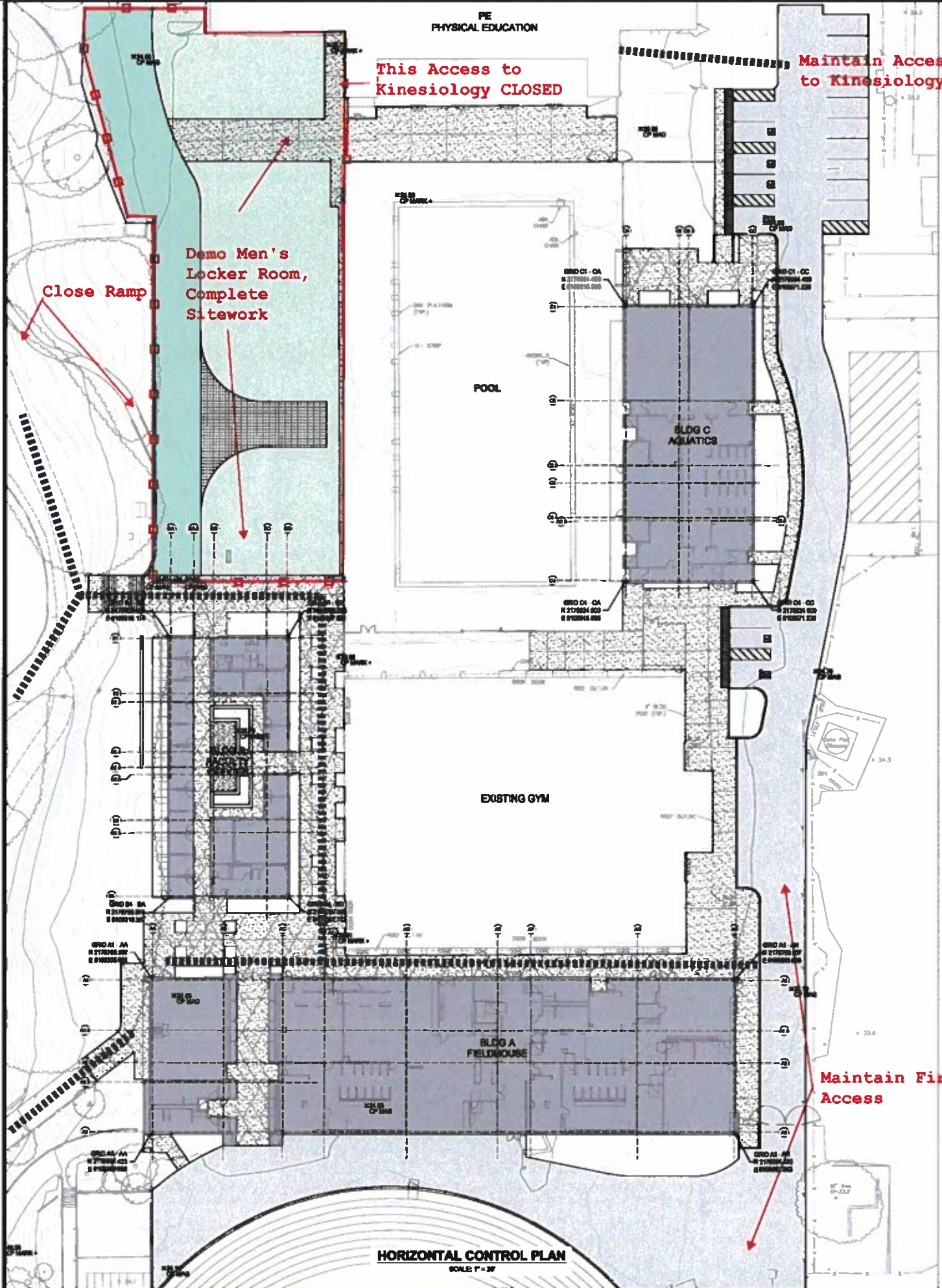
Existing Portables Remain Operational During Phase 1

HORIZONTAL CONTROL PLAN
SCALE 1" = 20'

Note - Work Outside of Temp Fence Area to be coordinated with District.



HORIZONTAL CONTROL PLAN
SCALE 1" = 20'



HORIZONTAL CONTROL PLAN
SCALE: 1" = 20'

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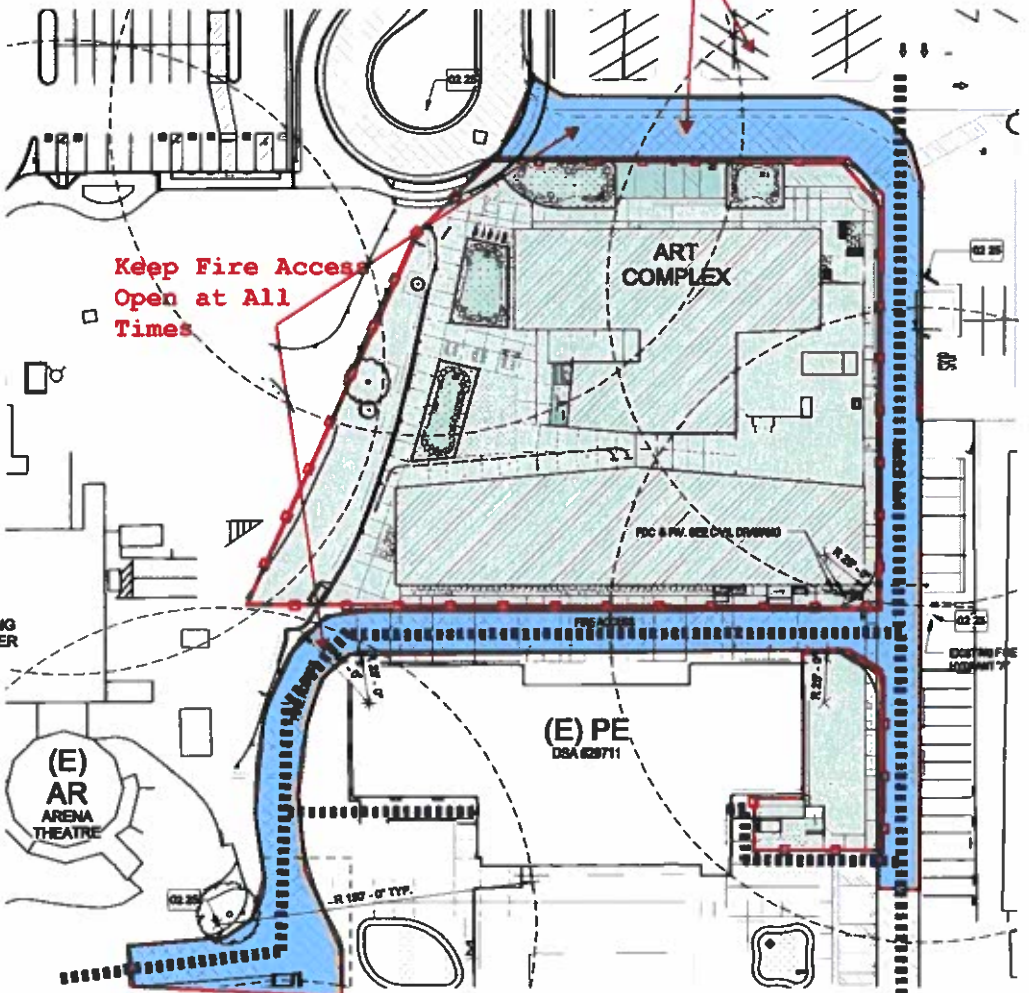
ART Phase 1 Plan

■■■■■■■■■■ Pedestrian Egress

—□— Temp Fencing w/Lighting

Revise Parking Lot Striping to allow for reconfigured turn-around lane.

Keep Fire Access Open at All Times



1111 Broadway, Floor 2
 Oakland, CA 94612
 T 510 253 8223 / www.fmcarchitects.com



ISSUE:

No.	Issued	Date	No.	Issued	Date
01	DBA PROGRESS SET	03/27/2010			
02	DBA BACK-CHECK	10/15/2010			

Keywords:
 02.25 (E) FIRE HYDRANT TO REMAIN, PROVIDE PROTECTION

LEGEND

- (E) FIRE HYDRANT
- FIRE HYDRANT 157' RADIUS COVERAGE
- FIRE TRUCK ACCESS ROUTE
- NEW BUILDING
- (E) BUILDING OR BUILDING UNDER SEPARATE PROJECT NO WORK

Coordinate all work with PEK Phasing work.

Note - Work Outside of Temp Fence Area to be coordinated with District. This will include Phasing AC Paving, work during summer, or school breaks.